

54262788
Page 1 of 9
Exam 1888 2:02 PM
JAMES E MCCORMY SURVEYOR & AUDITOR

1

EXHIBIT "B"

DECLARATION OF CONDOMINIUM
FIRST AMENDMENT
FOR

BURTON LANE CONDOMINIUM
(BEING PART OF TWINSBURG TOWNSHIP LOT 21,
TOWNSHIP OF TWINBURG, SUMMIT COUNTY, OHIO
ALSO KNOWN AS BEING BLOCK "A" OF WOODLANDS SUBDIVISION
AS SHOWN BY THE RECORDED PLAT No. 54160438
SUMMIT COUNTY RECORDS)

ADDING UNITS AS CONSTRUCTED -
(UNITS 3,4 & 5 IN BUILDING "B"
AND (UNITS 23,24 & 25 IN BUILDING "I");

WHITLATCH & CO., GRANTOR

Donald L. Martin
DONALD L. MARTIN
JAN ERSKINE
COUNTY OF SUMMIT
WILLIAM C. WHITLATCH, President

PRIOR INSTRUMENT REFERENCES:
FIRST PLUG No. 5418541Z - DECLARATION AND ALL EXHIBITS
UTILITY PLAT: 5420334C

Before me, a Notary Public, in and for said County and State, personally appeared the above named WHITLATCH & CO. by and through WILLIAM C. WHITLATCH, PRESIDENT, who acknowledged that he did sign the foregoing instrument and that the same is his free act and deed, personally and as such officer.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Twinsburg, Ohio this 5th day of March, 1999.
DONALD L. MARTIN
Attorney at Law
MY COMMISSION HAS NO EXPIRATION DATE



Whitlatch
3868
TRANSFERRED
99 MAR 10 PM 1:15
JAMES B. MCCORMY
SUMMIT COUNTY AUDITOR
TRANSFERRED IN COMPLIANCE WITH
SEC. 3.14(B)(2)(C) OF
THE OHIO CONSTITUTION
BY
JAMES B. MCCORMY
SUMMIT COUNTY AUDITOR

Phil Approved By
TAY MAPLEBERRY
TIN 133 3-C-99
TURNBAUGH



SURVEYOR'S CERTIFICATION

I, ROBERT J. WARNER, hereby certify that the attached drawings entitled Exhibit "B" - Burton Lane Condominium, located in the County of Summit, Ohio, and located in the County of Summit, Ohio, as shown on the attached drawings, are correctly located and described in the Declaration of Condominium and accurately indicates the location of the easements located thereon.

I also hereby certify that Exhibit "B" - Sheet 3 - correctly locates building locations, sizes and limited common areas for Buildings A, B & I, as constructed.



Robert J. Warner
ROBERT J. WARNER
REGISTERED SURVEYOR No. 6831
DATE 3-5-99

ARCHITECT'S CERTIFICATION

I, FRED L. KRUEGER, hereby certify that the attached drawings entitled Exhibit "B" - Burton Lane Condominium, located in the County of Summit, Ohio, and located in the County of Summit, Ohio, as shown on the attached drawings, are correctly located and described in the Declaration of Condominium and accurately indicates the location of the easements located thereon.

Fred L. Krueger
FRED L. KRUEGER
REGISTERED ARCHITECT No. 5281
DATE 3-5-99

THIS WILL CERTIFY THAT A COPY OF THIS EXHIBIT "B" TO THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM HAS BEEN FILED IN THE OFFICE OF THE AUDITOR, SUMMIT COUNTY, OHIO.

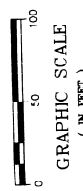
PHONE: 216-425-3500 FAX: 216-425-7813
P.O. BOX 363 TWINSBURG, OHIO 44087

CP Whitlatch & Co

54262788
87471888 11 57
JONES & SCOTT SURVEYING

LEGEND

- IRON PIN OR PIPE FOUND AS DESCRIBED (ENVR. DESIGN GROUP)
- 5/8" REBAR SET W/D. CAP (ENVR. DESIGN GROUP)
- MONUMENT FOUND
- 5/8" REBAR SET W/D. CAP (ENVR. DESIGN GROUP) IN STD. MONUMENT BOX
- ▲ F.R. SPIKE FOUND
- ▲ F.R. SPIKE SET
- ▲ MEASURED DIST. (RECORD DIST.)
- R, & U RECORD & USE
- F, & J FOUND & USED
- Ⓞ SEE CURVE DATA



GRAPHIC SCALE
(IN FEET)
BASIS OF BEARINGS:
THE WOODLANDS SUBDIVISION
RECORD NO. 54180238

I ROBERT J. WARNER, HEREBY CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED FROM SURVEY AND ENCLOSURES UNDER THE PROVISIONS OF THE GENERAL TITLE ACT, AND THAT THE RECORD INSTRUMENTS SHOWN IN THIS REPORTING WATER ON THE PROPERTY ARE CORRECTLY LOCATED AND THE DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. COURSES ARE GIVEN TO AN ASSUMED MERIDIAN AND ARE USED TO INDICATE ANGLES ONLY. ALL OF WHICH CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.



Robert J. Warner 3-5-99
ROBERT J. WARNER DATE
REGISTERED SURVEYOR #6931

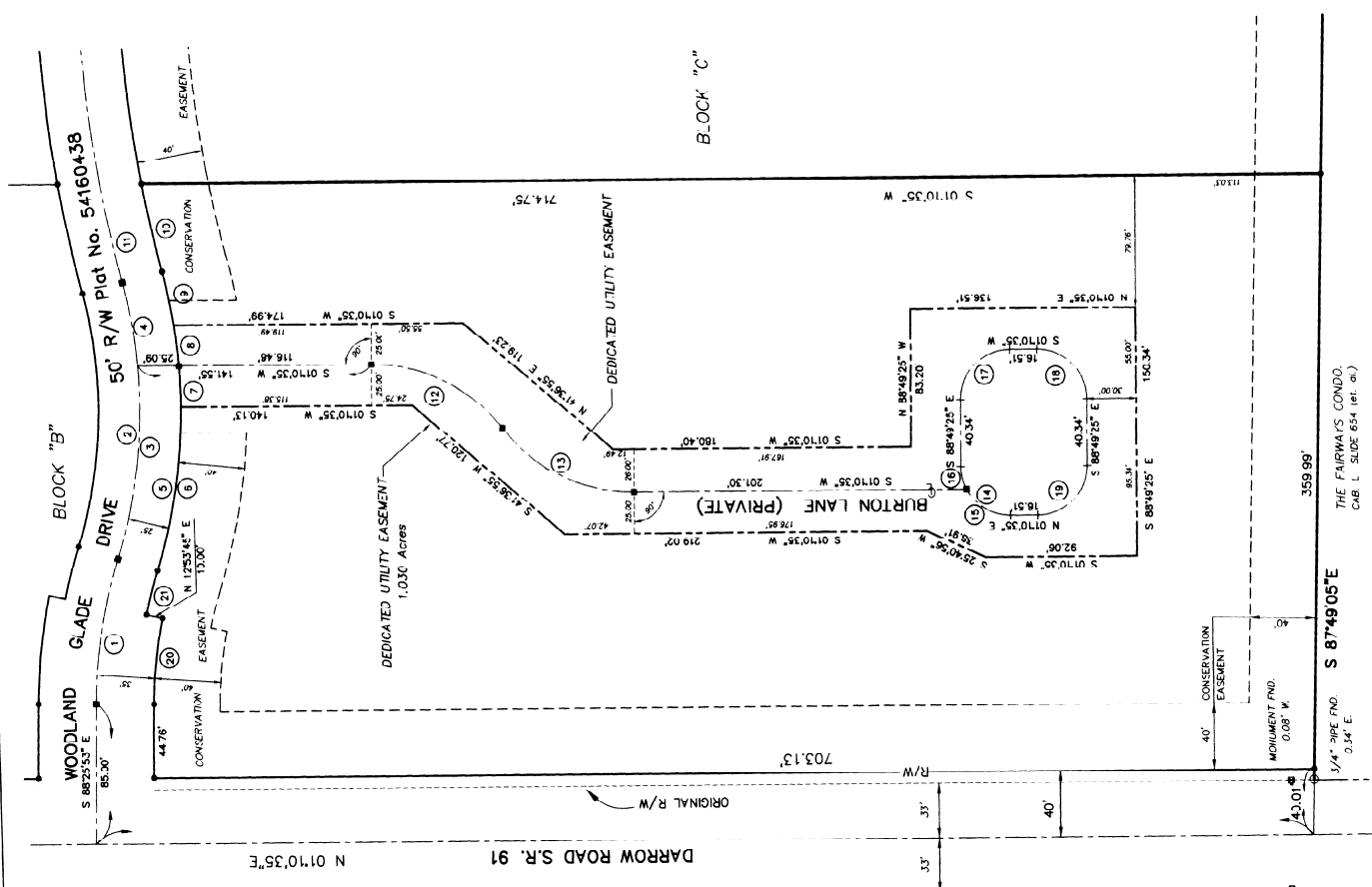
CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	300.00'	69.26'	87.36'	84.90'	S 79°54'11" E	17°03'03"
2	300.00'	167.22'	187.22'	167.22'	S 87°33'48" E	32°30'43"
3	300.00'	111.12'	87.36'	87.36'	S 87°33'48" E	69°51'05"
4	300.00'	51.98'	59.71'	51.98'	S 87°33'48" E	32°21'53"
5	300.00'	100.00'	86.81'	100.00'	S 87°33'48" E	69°51'05"
6	300.00'	100.00'	86.81'	100.00'	S 87°33'48" E	69°51'05"
7	325.00'	25.03'	50.83'	100.06'	S 80°14'08" E	17°52'45"
8	325.00'	25.03'	50.83'	100.06'	S 80°14'08" E	17°52'45"
9	325.00'	25.03'	50.83'	100.06'	S 80°14'08" E	17°52'45"
10	325.00'	25.03'	50.83'	100.06'	S 80°14'08" E	17°52'45"
11	600.00'	271.13'	271.13'	271.13'	N 76°16'35" E	69°51'05"
12	100.00'	91.69'	91.69'	91.69'	S 72°26'34" E	52°31'58"
13	100.00'	41.12'	41.12'	41.12'	N 46°10'35" E	85°39'08"
14	100.00'	41.12'	41.12'	41.12'	N 77°23'08" E	27°30'52"
15	300.00'	35.72'	19.20'	31.37'	N 77°23'08" E	27°30'52"
16	300.00'	14.41'	30.00'	42.43'	S 43°49'25" E	90°00'00"
17	300.00'	4.11'	30.00'	42.43'	S 43°49'25" E	90°00'00"
18	265.00'	55.39'	55.39'	55.39'	S 45°10'35" W	80°00'00"
19	300.00'	50.07'	50.07'	50.07'	S 82°48'04" E	11°19'38"
20	235.00'	21.47'	13.75'	17.46'	N 51°32'45" E	63°11'50"
21	235.00'	21.47'	13.75'	17.46'	S 74°14'32" E	65°43'25"

EXHIBIT "B"
BURTON LANE CONDOMINIUM
CONDOMINIUM DOMAIN



CONDOMINIUM DOMAIN FOR BURTON LANE CONDOMINIUM, SHEET 2 OF 3

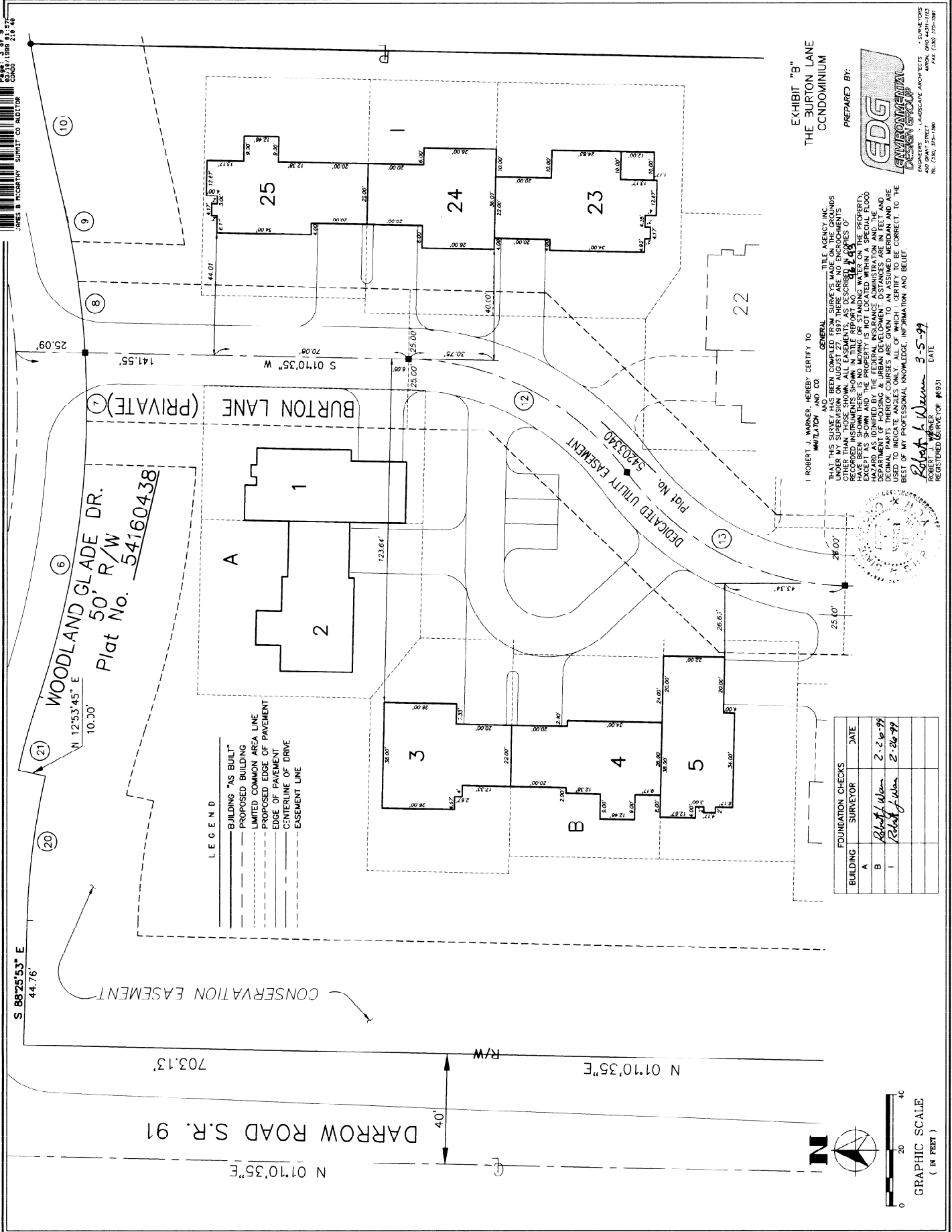


THE FAIRWAY'S CONDO.
C&B L. SLOPE 6.54 (et. al.)

S 87°49'05" E
359.99'
MONUMENT FND.
0.08' W
3/4" SPIRE FND.
0.34' E

R/W
MONUMENT
F. & U

54262788
 Page: 3 of 9
 03/20/1999 2:10:46
 JAMES B. MCCORMY SURVEYING & MAPPING



- LEGEND**
- BUILDING "AS BUILT"
 - - - PROPOSED BUILDING
 - - - LIMITED COMMON AREA LINE
 - - - PROPOSED EDGE OF PAVEMENT
 - - - EDGE OF DRIVE
 - - - CENTERLINE OF DRIVE
 - - - EASEMENT LINE

BUILDING	SURVEYOR	DATE
A	Robert J. Warner	2-26-99
B	Robert J. Warner	2-26-99

I, ROBERT J. WARNER, HEREBY CERTIFY TO
 W. M. LATCH AND CO.
 GENERAL SURVEYORS
 THAT THIS SURVEY AND THESE CONCLUSIONS
 UNDER MY SUPERVISION ON AUGUST 27, 1997, THERE ARE NO ENCROACHMENTS
 OTHER THAN THOSE SHOWN. ALL EASEMENTS, AS DESCRIBED IN THESE PLANS,
 HAVE BEEN SHOWN THERE IS NO MOVING OR STANDING WATER ON THE PROPERTY,
 EXCEPT AS SHOWN AND THE PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD
 HAZARD AREA. THE DISTANCES AND BEARINGS SHOWN ARE IN FEET AND
 DECIMAL PARTS THEREOF. COURSES ARE GIVEN TO AN ASSUMED MERIDIAN AND ARE
 CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

Robert J. Warner 3-5-99
 REGISTERED SURVEYOR #8931 DATE

EXHIBIT "B"
 THE BURTON LANE
 CONDOMINIUM



PREPARED BY:
 EDG ENVIRONMENTAL DESIGN GROUP
 ENGINEERS, LANDSCAPE ARCHITECTS, SURVEYORS
 400 W. 12th St., Suite 100
 Ft. Worth, TX 76102
 TEL: (817) 335-1589
 FAX: (817) 335-1589

REV	DATE	BY

UNIT #5 SOLD BY CHANGE FROM 10' X 11' 7/8" TO 10' X 11' 1/2" AS SHOWN ON SHEET 401

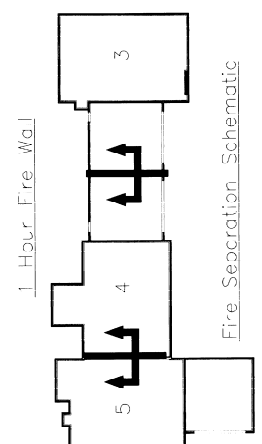
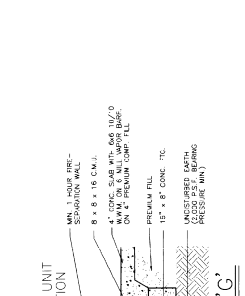
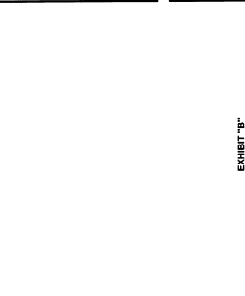
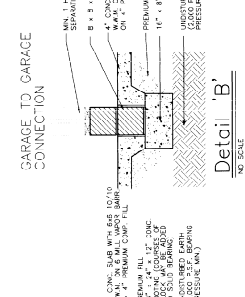
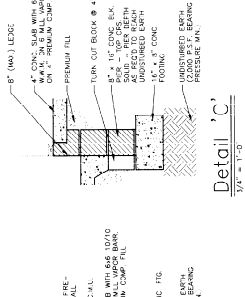
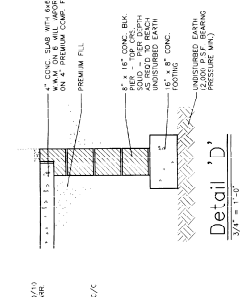
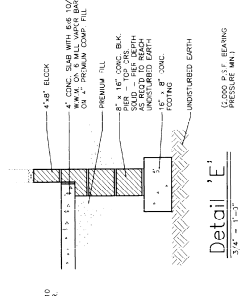
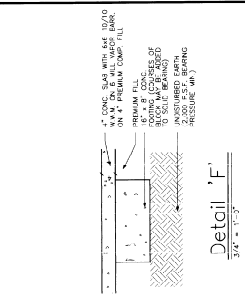
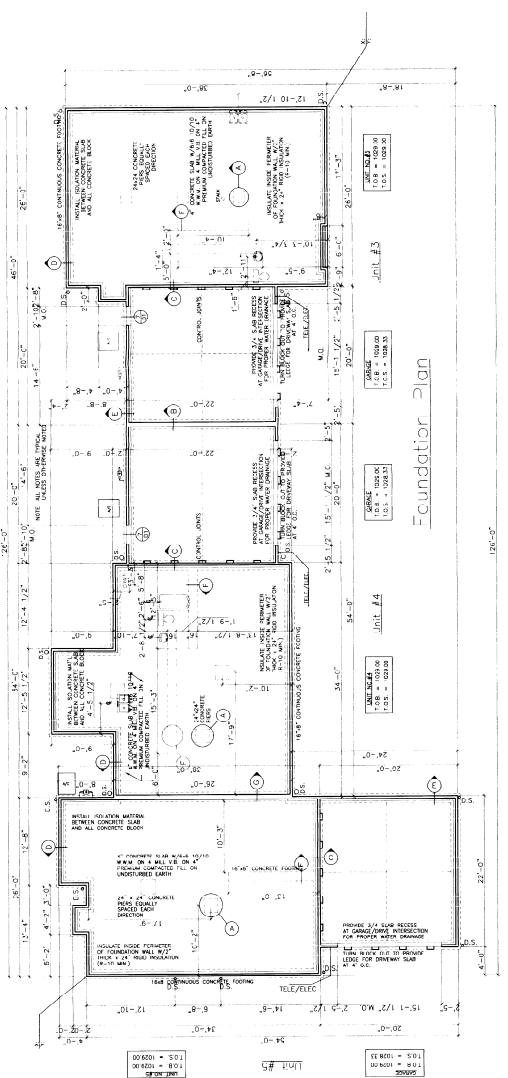
PROJECT: PRUGER
 1000 RAVENNA ROAD
 WINCHESTER, OHIO 44087
 (330) 445-3500

AS-BUILT FOUNDATION PLAN
BUILDING 'B' (UNITS # 3, 4 & 5)

WHITATCH & CO. ARCHITECTS AND ENGINEERS • P.O. BOX 303 • WINDSBORO, OHIO 44887 • 330.425.3500

PROJECT: BURTON LANE CONDOMINIUM
 DATE: JAN 11 1999
 SCALE: 1/8" = 1'-0"
 SHEET: A2
 SHEETS: 37

NOTE: FOUNDATION DESIGN BASED ON MIN. SOIL CAPACITY OF 2,000 P.S.F. - CONTRACTOR TO VERIFY & NOTIFY ARCHITECT IF SOIL BEARING CAPACITY SHOULD BE LESS. CONCRETE STRENGTH DESIGN = 3,500 P.S.F. N 28 DAYS.



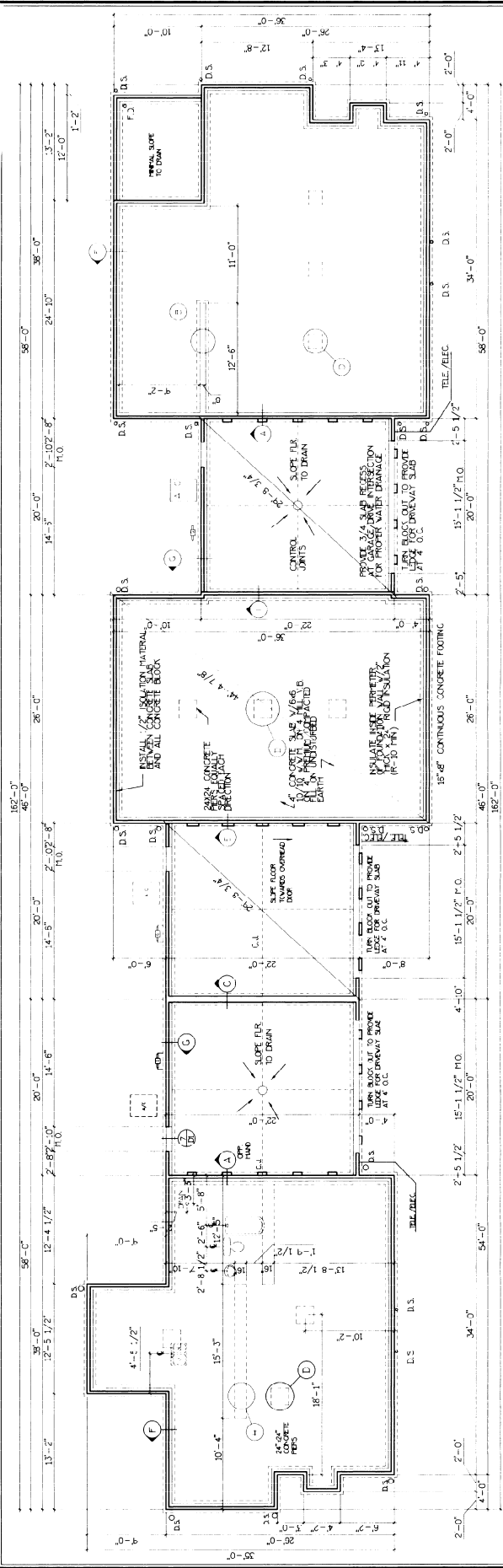
ENGINEER: W. W. PRUGER
 SHEET: 4
 SHEET: 4

I, W. W. PRUGER, hereby certify that the drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio. The drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio. The drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio.

W. W. PRUGER
 REGISTERED ARCHITECT # 9231



54262788
 P. 1-54262788
 JAMES B. MCCARTHY, SURVEYOR
 LICENSE NO. 21044



UNIT 23
 T.O.B.: 28.33
 T.O.S.: 28.33

GARAGE
 T.O.B.: 28.33
 T.O.S.: 27.67

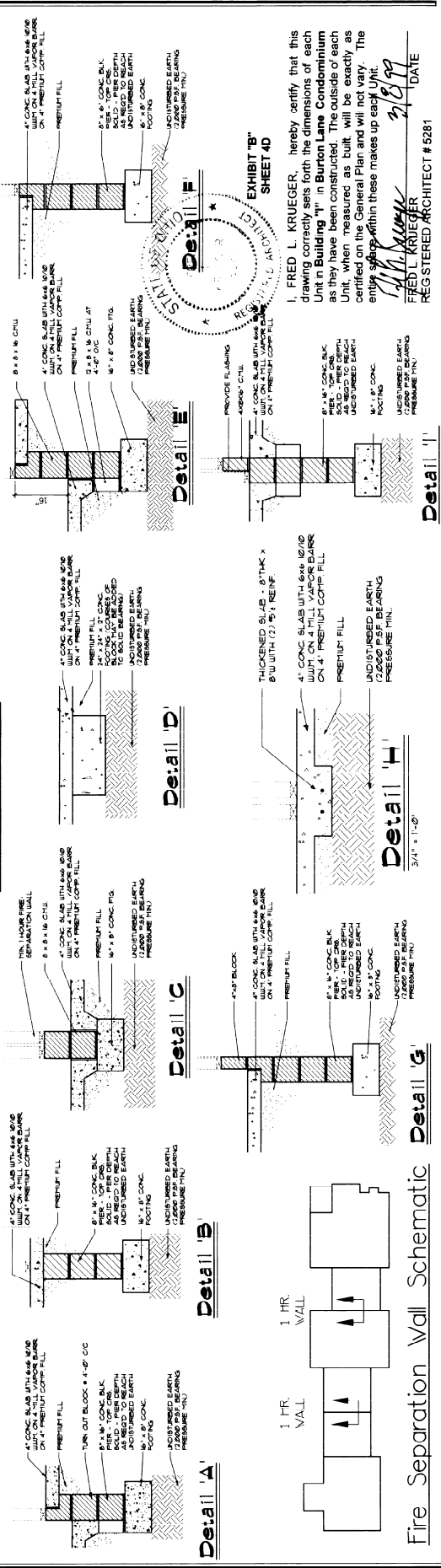
UNIT 24
 T.O.B.: 27.67
 T.O.S.: 27.67

GARAGE
 T.O.B.: 27.00
 T.O.S.: 28.33

GARAGE
 T.O.B.: 27.00
 T.O.S.: 28.33

UNIT 25
 T.O.B.: 27.00
 T.O.S.: 27.00

Foundation Plan



I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each unit in Building "I" in Burton Lane Condominium as they have been constructed. The outside of each unit has been measured as built, will be exactly as confirmed on the General Plan and will not vary. The entire space within these makes up each unit.
 FRED L. KRUEGER
 REGISTERED ARCHITECT # 5281
 DATE 2/8/99

SHEET
A-2
 OF SHEETS

DRAWN M.J.S.
 DATE MARCH 5, 1999
 SCALE 1/8" = 1'-0"
 PROJECT BURTON LANE
 FILE NAME BRN-1.DWG

AS-BUILT - FOUNDATION PLAN
 BUILDING "I" (UNITS 23-25)
 BURTON LANE
 WHITLATCH & Co.
 BUILDERS DEVELOPERS 330-425-3500
 P.O. BOX 363 TWINSBURG, OHIO 44067

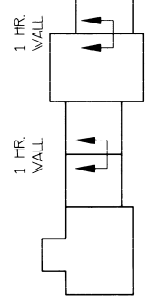
FRED L. KRUEGER
 ARCHITECT
 P.O. BOX 363
 10800 RAVENNA ROAD
 TWINSBURG, OHIO 44067
 (330)-425-3500

REVISION	DATE

REVISION	DATE

NOTE: FOUNDATION DESIGN BASED ON
 MIN. SOIL CAPACITY OF 2,000 P.S.F.
 CONTRACTOR TO VERIFY & NOTIFY
 ENGINEER IMMEDIATELY SHOULD SOIL BEARING
 BE LESSER THAN SPECIFIED.
 CONCRETE STRENGTH DESIGN
 = 3,000 P.S.F. IN 28 DAY

Fire Separation Wall Schematic Detail G



54242788
 11/10/10 10:50:29 AM
 11/10/10 10:50:29 AM

REVISED	DATE		
UNIT #, GOOD SHEET CHANGE FROM TO, X, Y, Z		WHITLATCH & CO., BUILDERS AND DEVELOPERS • P.O. BOX 343 • TWINSBURG, OHIO 44087 • 330-425-1500	

AS-BUILT ELEVATIONS

BUILDING 'B' (UNITS # 3, 4 & 5)

BURTON LANE

DRAWN	DATE	SCALE	PROJECT NAME
JAN	JAN 1999	1/8" = 1'-0"	BURTON LANE
		BY: FKL	

SHEET	SHEETS
A1	OF

54242788
 11/10/10 10:50:29 AM
 11/10/10 10:50:29 AM

**** ALL NOTES UNDERNEATH SHALL BE BOUND AT FIRST ELEVATION UNLESS OTHERWISE NOTED**

1. WATERPROOF GARAGES SHALL BE BUILT TO MEET ALL CITY CODES & REQUIREMENTS. CONCRETE SHALL BE 4" MINIMUM WITH #4 REINFORCING BARS AT 18" O.C. IN ALL DIRECTIONS. 2" INSIDE THE EXTERIOR WALL LINE.

2. ALL WINDOWS ARE TO BE SHINGLE HUNG THERMAL WALLS. ALL WINDOWS ARE TO BE 14" HIGH X 24" WIDE. DOUBLE HUNG WINDOWS TO BE 14" OVER 14" X 24" OR 14" OVER 24" X 24".

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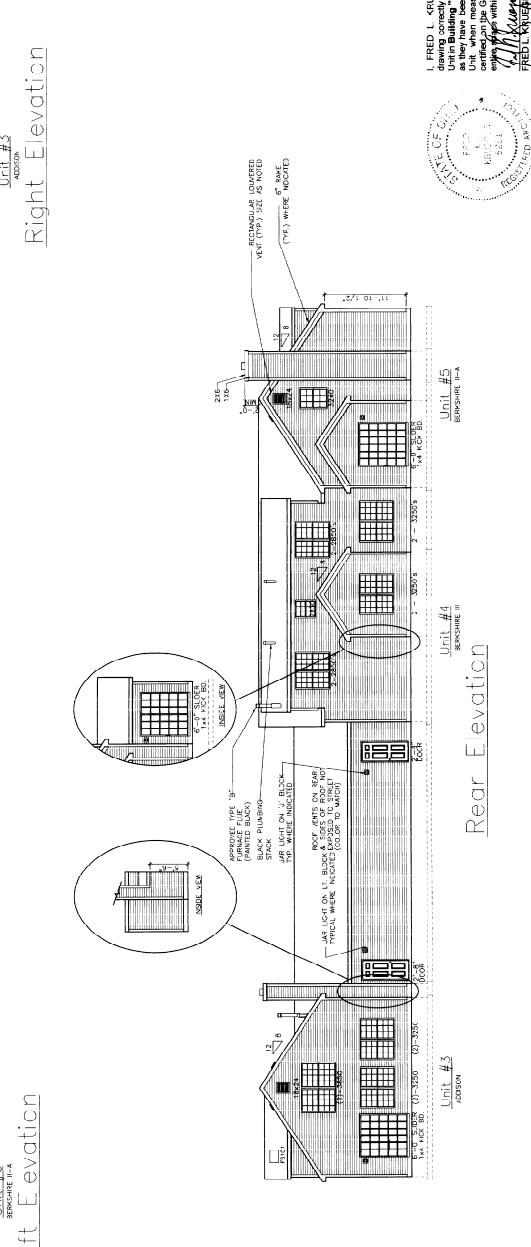
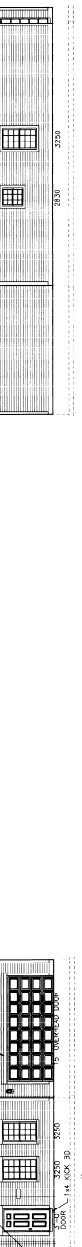
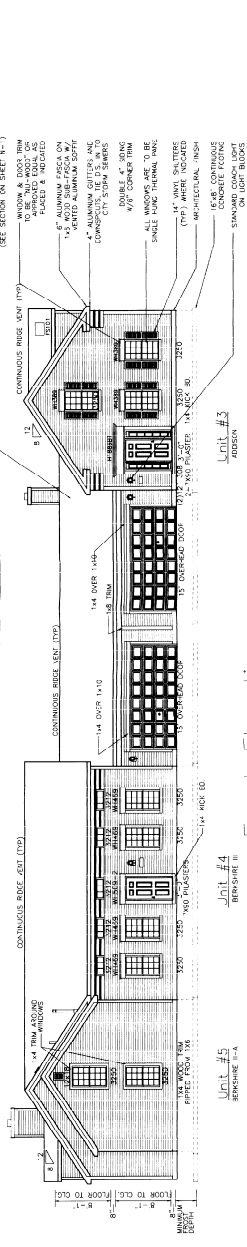
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EXHIBIT "B" SHEET 4B

I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each building shown hereon and that the same shall be constructed as they have been constructed. The outline of each Unit when measured as built, will be exactly as shown hereon. This drawing is made for reference only. The owner, contractor and subcontractors shall be responsible for any changes which they make as they build.

FRED L. KRUEGER
 REGISTERED ARCHITECT # 6291
 DATE: 11/10/10



REVISION	DATE
UNIT #1 SOLD SEPARATELY FROM 'B' TO 'A' 1/1/2006	
UNIT #2 SOLD SEPARATELY FROM 'B' TO 'A' 1/1/2006	
UNIT #3 SOLD SEPARATELY FROM 'B' TO 'A' 1/1/2006	
UNIT #4 SOLD SEPARATELY FROM 'B' TO 'A' 1/1/2006	
UNIT #5 SOLD SEPARATELY FROM 'B' TO 'A' 1/1/2006	

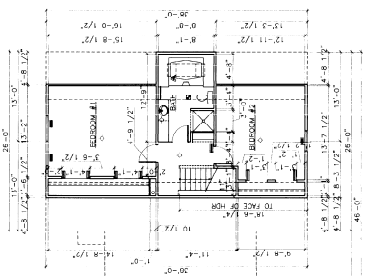
FRED L. KRUEGER
ARCHITECT
P.O. BOX 851
MANSFIELD, MA 01902
PHONE: 413-253-5500
FAX: 413-253-5501
(33) 425-5500

AS-BUILTS FLOOR PLANS
BUILDING 'B' (UNITS # 3, 4 & 5)
BURTON LANE

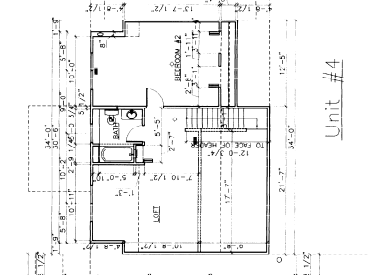
WHITATCH & CO.
BUILDERS AND DECORATORS • P.O. BOX 253 • TRINCLOND, OHIO 44087 • 220-425-2000

DRAWN
DATE: JAN. 27, 1999
PROJECT: 1/2" = 1'-0"
BUILDING: BURTON LANE
FILE NAME: BRN-BDMG

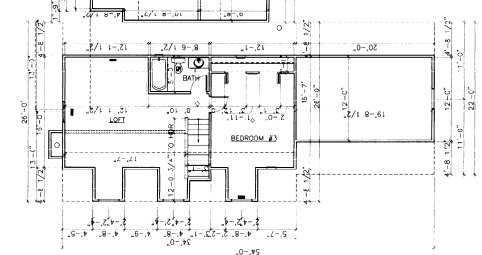
SHEETS
OF



Unit #3

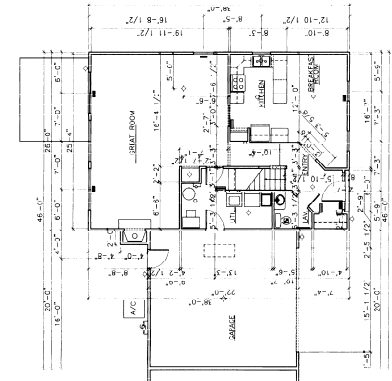


Unit #4

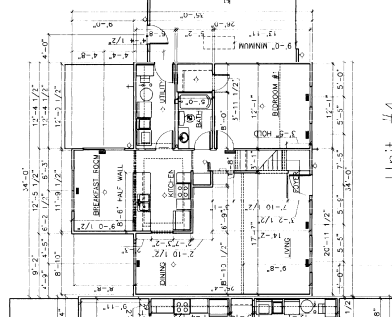


Unit #5

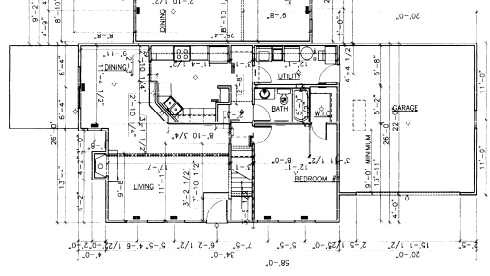
Second Floor Plan



Unit #3



Unit #4



Unit #5

First Floor Plan



EXHIBIT 'B'
SHEET 'A'

I, FRED L. KRUEGER, hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Massachusetts. The outside of each sheet of this drawing has been stamped with the name of the architect and the date of the drawing. The original of this drawing is on file in my office on the General Plan and will not vary. The drawings within these plans make up each unit.

FRED L. KRUEGER
ARCHITECT
2/8/99
NO. 12567 ARCHITECT 7.6281

54262793
 2025-03-10 10:11:00 AM
 JAMES R. WILMARTH ARCHITECT P.C.

REVISION	DATE

FRED L. KRUEGER
 ARCHITECT
 P.O. BOX 383
 13833 BAYVIEW ROAD
 WINNEBAGO, OH 44897
 (330) 425-3500

AS-BUILT - ELEVATIONS
BUILDING "I" (UNITS 23-25)
 BURTON LANE

ISSUED
 W.J.S.
 MARCH 11, 1998
 1/8" SCALE
 1/8" = 1'-0"
 BURTON LANE
 BURNING WOOD
 UNIT 23

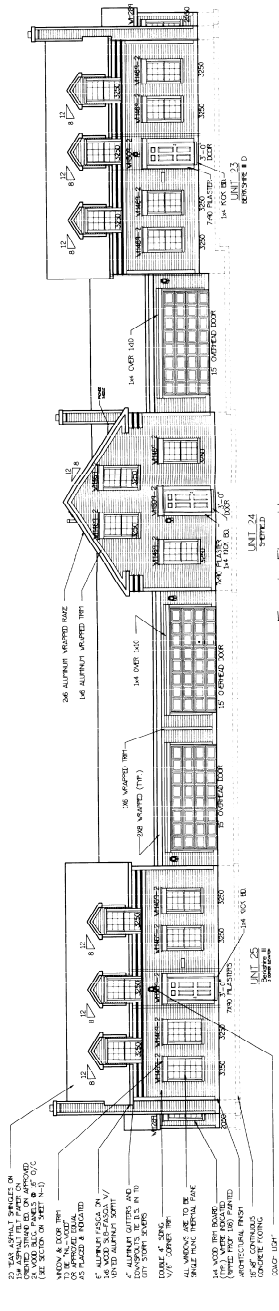
A-1

SHEET

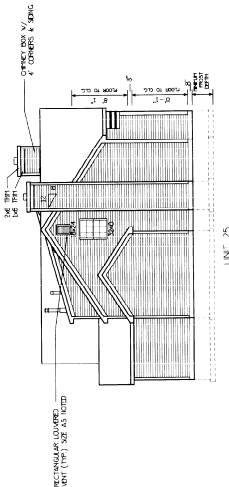
SHEETS

A WATERPROOF MEMBRANE SHALL BE APPLIED TO THE ENTIRE SURFACE OF CONCRETE TO PREVENT PENETRATION OF WATER TO INSIDE THE EXTERIOR WALL LINE

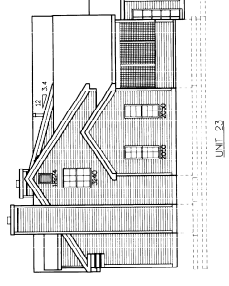
ALL NOTES
 OTHERWISE NOTED.



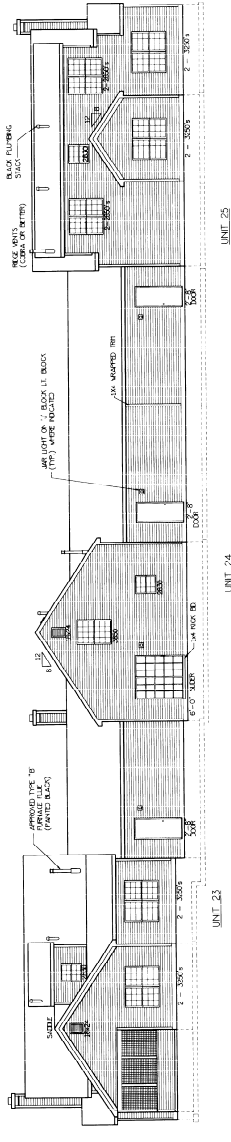
Front Elevation



Left Elevation



Right Elevation



Rear Elevation



EXHIBIT "B" SHEET "A"

I, FRED L. KRUEGER, hereby certify that the drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio, No. 16248, Mechanical.

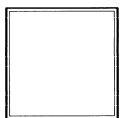
The drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio, No. 16248, Mechanical.

The drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio, No. 16248, Mechanical.

FRED L. KRUEGER
 REGISTERED ARCHITECT # 8281



REVISION	DATE

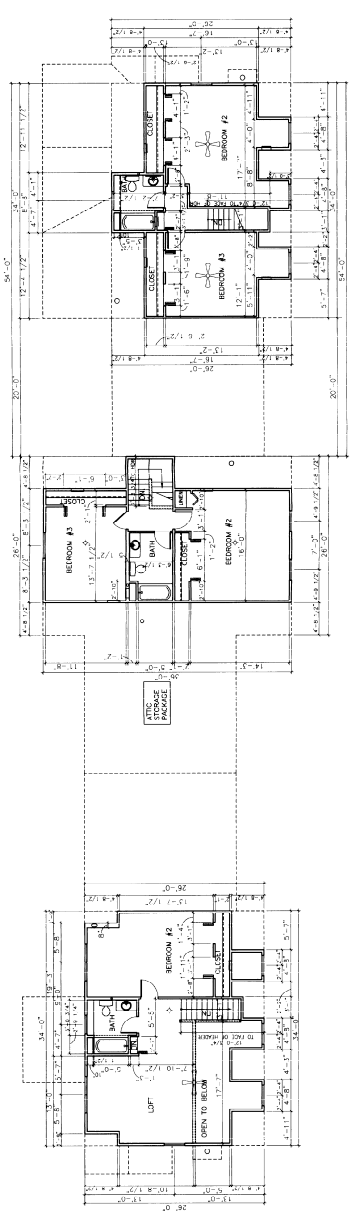


FRED L. KRUEGER
ARCHITECT
P.O. BOX 853
WINNSBURG, OHIO 44097
(330) 425-3500

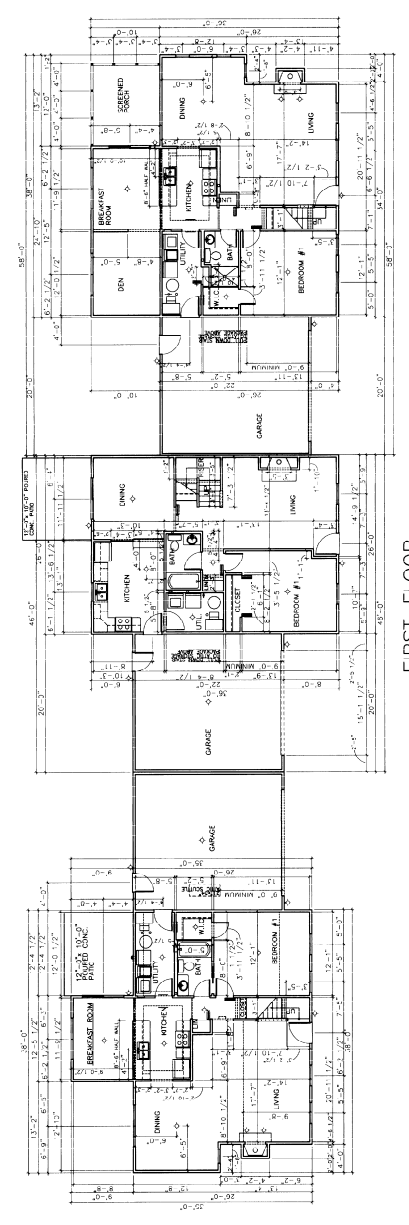
AS-BUILT - FLOOR PLANS
BUILDING "I" (UNITS 23-25)
BURTON LANE
BUILDERS AND DEVELOPERS • P.O. BOX 203 • WINNSBURG, OHIO 44087 • 330-425-2500
WHITATCH&CO

DRAWN
DATE
MARCH 5, 1995
SCALE
1/8" = 1'-0"
PROJECT
BUILDING NAME
BURTON LANE
FILE NAME
BIRN-1DWG

SHEET
36



SECOND FLOOR
UNIT 23
UNIT 24
UNIT 25



FIRST FLOOR

EXHIBIT "D"
SHEET #1
I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each structure shown hereon and that the same have been measured as they have been constructed. The outside of each line, when measured as built, will be exactly as shown on this drawing. My signature and the date appear below within these marks up each line.
FRED L. KRUEGER
REGISTERED ARCHITECT # 5281

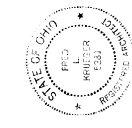


EXHIBIT "B"
DECLARATION OF CONDOMINIUM
SECOND AMENDMENT
FOR

BURTON LANE CONDOMINIUM
(BEING PART OF TWINSBURG TOWNSHIP LOT 21,
TOWNSHIP OF TWINBURG, SUMMIT COUNTY, OHIO
ALSO KNOWN AS BEING BLOCK "A" OF WOODLANDS SUBDIVISION
AS SHOWN BY THE RECORDED PLAT No. 54160438
SUMMIT COUNTY RECORDS)

ADDING UNITS AS CONSTRUCTED -
(UNITS 21 & 22 IN BUILDING "H")

WHITLATCH & CO., GRANTOR

Plan Approved by
TAX MAP DEPARTMENT
7/10/33
5-16-99
Wick

PRIOR INSTRUMENT REFERENCES

The Woodlands Subdivision No. 1 - Reception No. 54160289
Re Recording of the Woodlands No. 1 - Reception No. 54201409
Burton Lane Utility Plat - Reception No. 54223340
Declaration of Condominium Ownership and of exhibits - Reception No. 51185417
First Amendment - Reception No. 54862288

Donald L. Martin
DONALD L. MARTIN, Executive Vice President
JOHN ERSKINE
STATE OF OHIO
COUNTY OF SUMMIT

Before me, a Notary Public, in and for said County and State, personally appeared the above named WHITLATCH & CO. by and through ROBERT J. KRUEGER, its duly authorized PRESIDENT, who acknowledged that he did sign the foregoing instrument and that he same is his free act and deed, personally and as such officer.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Twinsburg, Ohio this 4th day of May, 1999.

Donald L. Martin
DONALD L. MARTIN
Attorney at Law
MY COMMISSION HAS NO EXPIRATION DATE



Ann B. McCarry
By Ann B. McCarry
may 1999

TRANSFERRED
99 MAY -7 AM 11:11
JAMES B. McCARTHY
SUMMIT COUNTY AUDITOR

with letter
BOX
854

TRANSFERRED IN COMPLIANCE WITH
SEC. 3109 OF THE REV. CODE
Summit
Summit County Auditor

SURVEYOR'S CERTIFICATION
I, ROBERT J. WANNER, hereby certify that the attached drawing entitled Exhibit "B" - Sheet 2 - contains the Condominium Form containing BURTON LANE CONDOMINIUM as surveyed and accurately indicates the location of the easements located thereon.

I also hereby certify that Exhibit "B" - Sheet 3 - correctly locates building locations, sizes and limited common areas for Buildings C & D as proposed, but not yet constructed and limited common areas for Buildings C & D as proposed, but not yet constructed.



Robert J. Wanner
ROBERT J. WANNER
REGISTERED SURVEYOR NO. 893
DATE 4-29-99

ARCHITECT'S CERTIFICATION
I, FRED L. KRIEGER, hereby certify that the attached drawings entitled Exhibit "B" - Sheets 1 through 4 - inclusive - correctly set forth the dimension of each unit of Building BURTON LANE CONDOMINIUM as they have been constructed. The outside dimensions of each unit, as shown on the drawings, will be exactly as certified on the General Plat and will comply with the entire space within these dimensions marks up each unit.

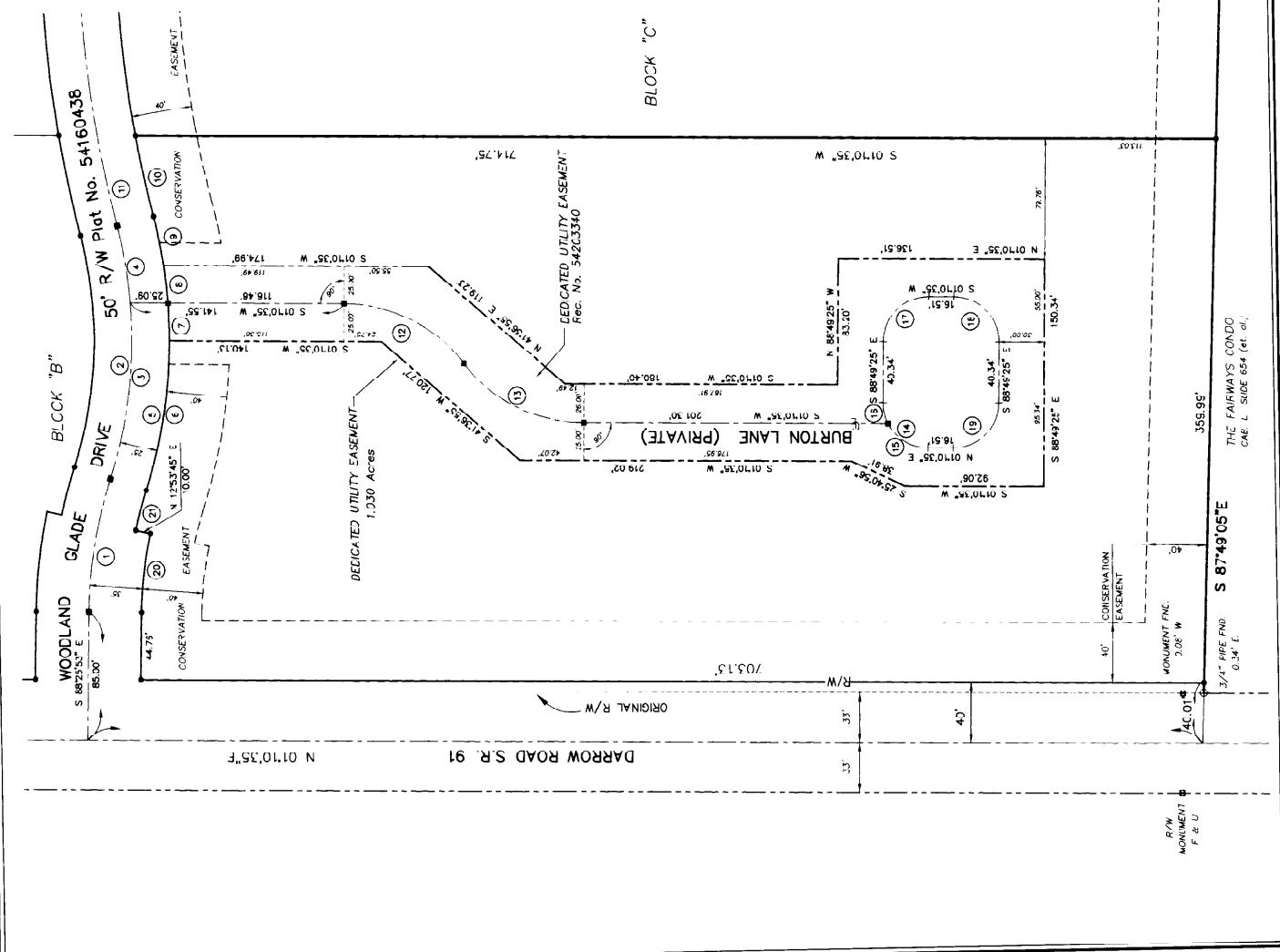
Fred L. Krieger
FRED L. KRIEGER
REGISTERED ARCHITECT NO. 5381
DATE 5/1/99

THIS WILL CERTIFY THAT A COPY OF THIS EXHIBIT "B" TO THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM HAS BEEN FILED IN THE OFFICE OF THE AUDITOR, SUMMIT COUNTY, OHIO.

54287923
PAGES 1 of 6
JAMES B. McCARTHY
SUMMIT COUNTY AUDITOR

PHONE: 216-425-3500 FAX: 216-425-7813
P.O. BOX 355 TWINSBURG, OHIO 44087

Whitlatch & Co.



- LEGEND**
- IRON PIN OR PIPE FOUND AS DESCRIBED
 - 5/8" REBAR SET W/I.D. CAP (ENVR. DESIGN GROUP)
 - MONUMENT FOUND
 - 5/8" REBAR SET W/I.D. CAP (ENVR. DESIGN GROUP) IN S.D. MONUMENT BOX
 - △ R.R. SPIKE FOUND
 - ▲ R.R. SPIKE SET
 - MEASURED DIST. (RECORD DIST.)
 - R & U RECORD & USED
 - F. & U. FOUND & USED
 - Ⓢ SEE CURVE DATA

GRAPHIC SCALE
(IN FEET)

0 50 100

GRAPHIC SCALE
(IN FEET)

0 50 100

GRAPHIC SCALE
(IN FEET)

0 50 100

BASES OF BEARINGS:
THE WOODLANDS SUBDIVISION
RECORD No. 54160433

I ROBERT J. WARNER, HEREBY CERTIFY, TO WHILTON & CO., GENERAL TITLE AGENCY, INC. THAT THIS SURVEY HAS BEEN COMPILED FROM SURVEYS MADE ON THE GROUNDS UNDER MY SUPERVISION ON AUGUST 27, 1991. THERE ARE NO ENCUMBRANCES OTHER THAN THOSE SHOWN ON THESE PLANS AND AS RECORDED IN COPIES 3-1 HAVE BEEN SHOWN THERE IS NO MOVING OR STANDING WATER ON THESE PLOTS. THESE PLANS HAVE BEEN CHECKED BY THE FEDERAL INSURANCE ADMINISTRATION AND THE DEPARTMENT OF HOUSING & URBAN DEVELOPMENT DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THESE PLANS SHOW THE CORRECT LOCATION AND BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.



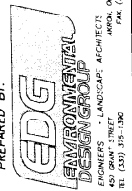
Robert J. Warner 12949
REGISTERED PROFESSIONAL ENGINEER
DATE: 8/29/91

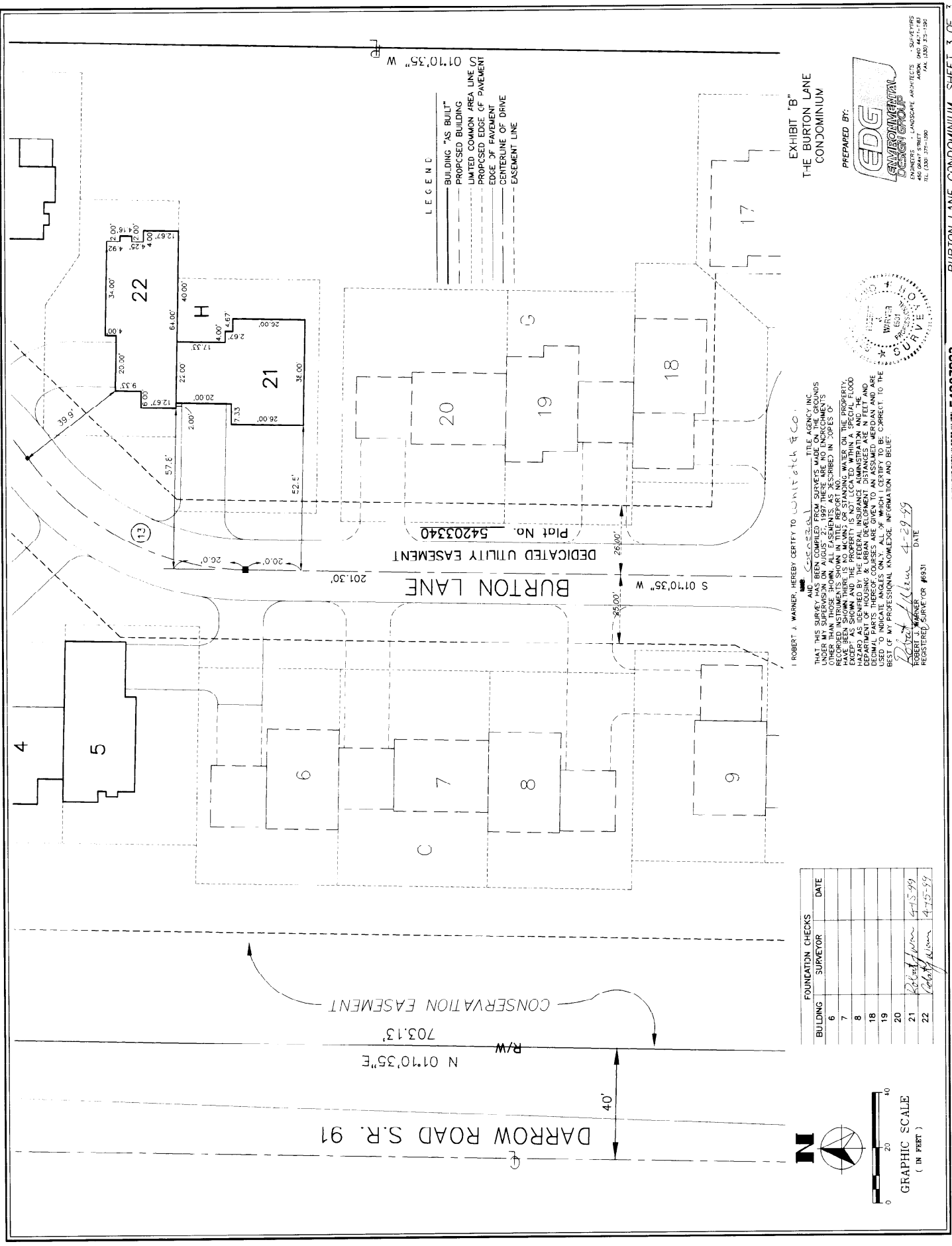
CURVE DATA

SURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	300.00	68.26	44.57	79.54	S 79°54'21" E	37°01'04"
2	300.00	165.46	87.09	177.72	S 82°38'18" E	22°30'48"
3	300.00	51.58	25.85	51.52	N 81°10'49" E	09°51'05"
4	300.00	183.56	94.31	181.5	S 87°33'48" E	37°21'52"
5	325.00	106.46	50.83	109.09	N 88°42'15" E	04°24'44"
6	325.00	25.19	12.80	25.18	N 84°11'38" E	04°26'24"
7	775.00	34.91	16.47	32.39	N 79°08'28" E	08°45'01"
8	100.00	5.81	2.96	5.76	N 85°59'54" E	15°21'08"
9	100.00	2.69	1.34	2.69	N 85°59'54" E	15°21'08"
10	100.00	9.69	4.93	8.81	S 27°28'31" W	52°31'58"
11	100.00	4.17	2.08	4.17	S 27°28'31" W	52°31'58"
12	100.00	14.41	7.34	12.9	N 35°24'05" E	62°29'08"
13	30.00	14.41	7.34	14.27	N 77°22'09" E	2°30'58"
14	30.00	4.17	2.08	4.17	S 43°46'25" E	80°00'00"
15	30.00	4.17	2.08	4.17	S 43°46'25" E	80°00'00"
16	205.00	52.39	26.28	52.30	S 85°46'04" E	1°19'38"
17	205.00	99.54	50.37	99.54	N 5°37'48" E	85°14'23"
18	275.00	27.47	13.75	27.46	S 74°14'23" E	05°14'23"

EXHIBIT "3"
EURTON LANE CONDOMINIUM
CONDOMINIUM DOMAIN

54287923
THE FAIRWAYS CONDO
CASE L. SUDE 654 (et. al.)





BURTON LANE CONDOMINIUM, SHEET 3 OF 3

54287923
JAMES B MCCARTHY SURVEYING & CONSULTING
REGISTERED SURVEYOR #831

ROBERT J. WARNER, HEREBY CERTIFY TO UNITATCH & CO.
AND CO. TITLE AGENCY INC.
THAT THIS SURVEY HAS BEEN COMPILED FROM SURVEYS MADE ON THE GROUNDS
UNDER MY SUPERVISION AND ALIQUOT EASEMENTS AS DESCRIBED IN PARAGRAPHS
RECORDED INSTRUMENTS SHOWN IN TITLE REPORT NO. 54203340 AND THE
EASEMENTS SHOWN AND THE PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD
HAZARD AS DETERMINED BY THE FEDERAL INSURANCE ADMINISTRATION AND THE
DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. THE SURVEYING AND
USE TO INDICATE ANGLES ONLY. ALL OF WHICH I CERTIFY TO BE CORRECT TO THE
BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

Robert J. Warner
REGISTERED SURVEYOR #831
DATE 4-29-99

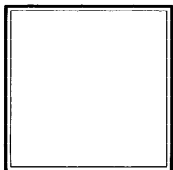
GRAPHIC SCALE
(IN FEET)

0 20 40

54287923
JAMES B MCCARTHY SURVEYING & CONSULTING
REGISTERED SURVEYOR #831

ENVIRONMENTAL DESIGN GROUP
ENGINEERS • LANDSCAPE ARCHITECTS
450 GRAND CENTRAL STATION, 15TH FLOOR
NEW YORK, NY 10017-3299

REVISION	DATE



AS-BUILT - FLOOR PLANS
BUILDING "H" (UNITS 21 & 22)
BURTON LANE

Opilitch & Co
 BUILDERS DEVELOPERS 216-425-3500
 P.O. BOX 353 TWINSBURG, OHIO 44087

DRAWN	W. SIMMONS
DATE	APRIL 23, 1999
SCALE	1/8" = 1'-0"
BURTON LANE	BURTON LANE
FILE NAME	BRN-H.DWG

SHEET	OF

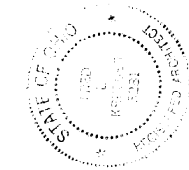
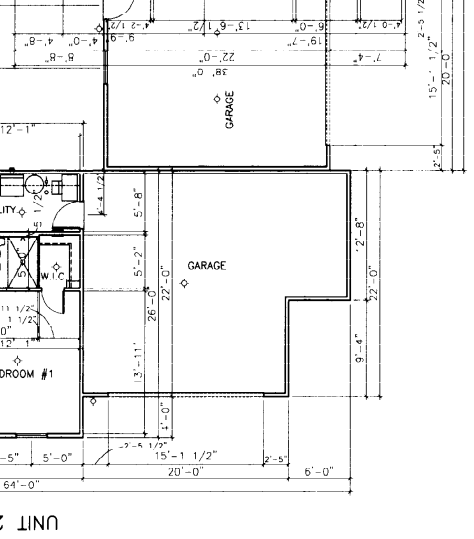
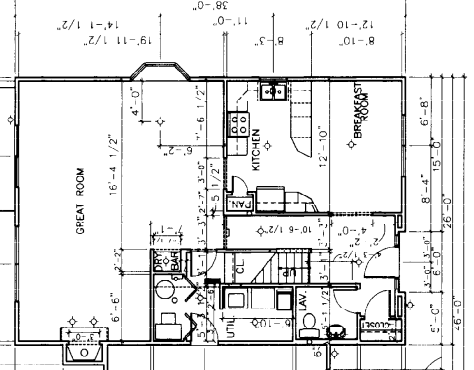
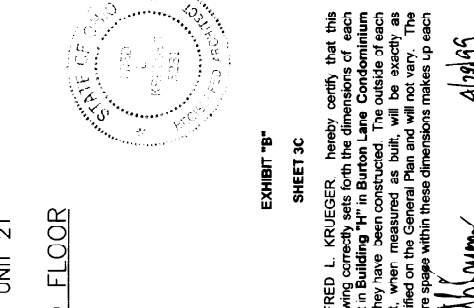
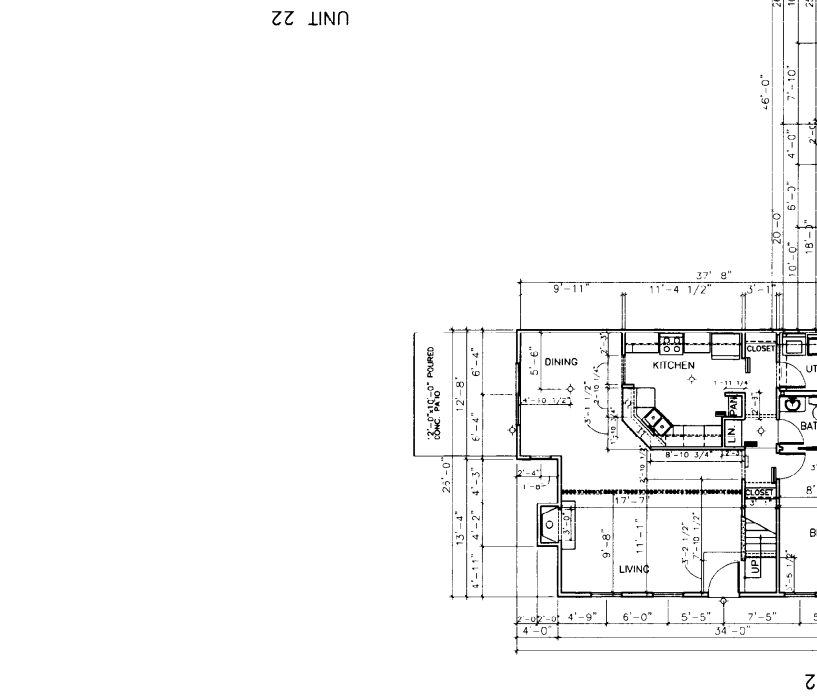
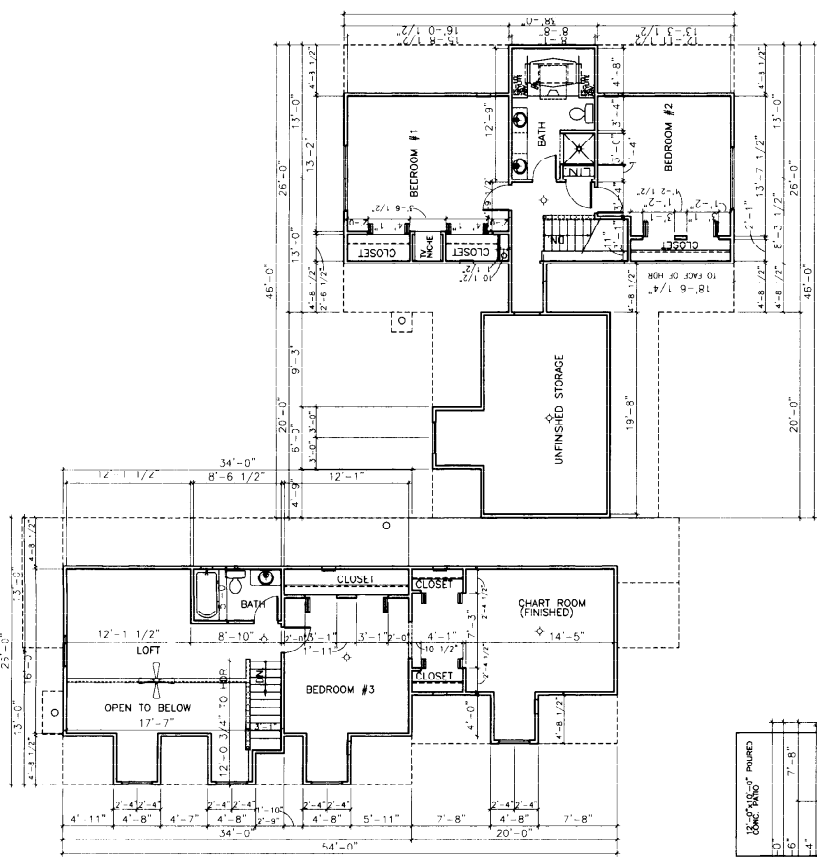


EXHIBIT "B"
SHEET 3C

I, **FRED L. KRUEGER**, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "H" in Burton Lane Condominium as they have been constructed. The outside of each Unit, when measured as built, will be exactly as certified on the General Plan and will not vary. The entire space within these dimensions makes up each

Fred L. Krueger
FRED L. KRUEGER
 REGISTERED ARCHITECT # 5281

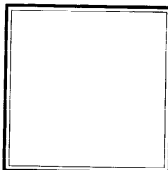
54287923
 PLAN # 4 OF 6
 APR 23 1999 11:18 AM
 JAMES B. HENNING - SURVEY CO. ADD'L OR



FIRST FLOOR

SECOND FLOOR

REVISION	DATE



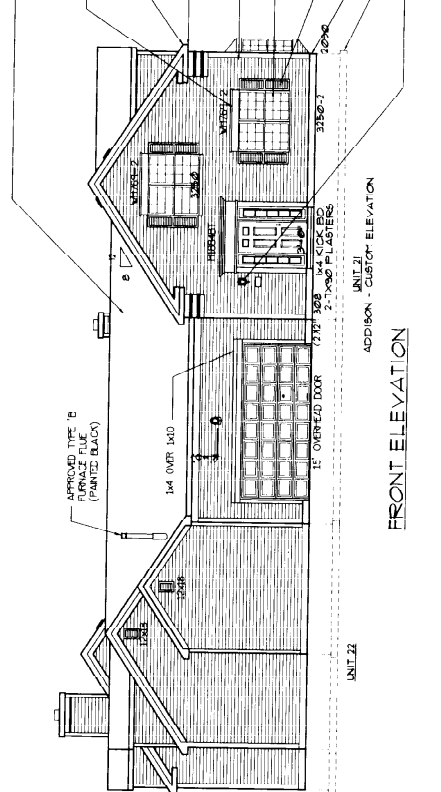
AS-BUILT - ELEVATIONS
BUILDING "H" (UNITS 21 & 22)
 BURTON LANE

Ormilach & Co
 BUILDERS DEVELOPERS 216-425-3500
 P.O. BOX 393 WIMSBURG, OHIO 44087

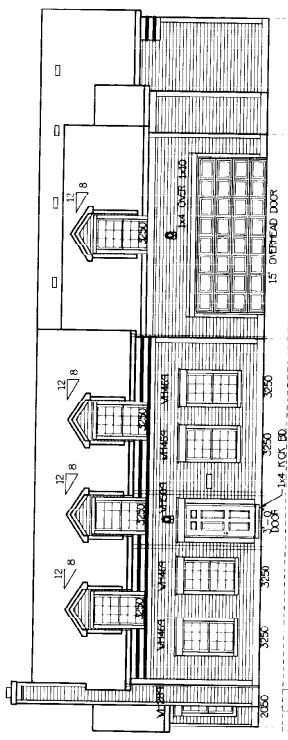
DRAWN W. SIMMONS
DATE APRIL 23, 1999
SCALE 1/8" = 1'-0"
PROJECT EURTON LANE
FILE NAME BRN-H.DWG

SHEET
A-1
 OF
 SHEETS

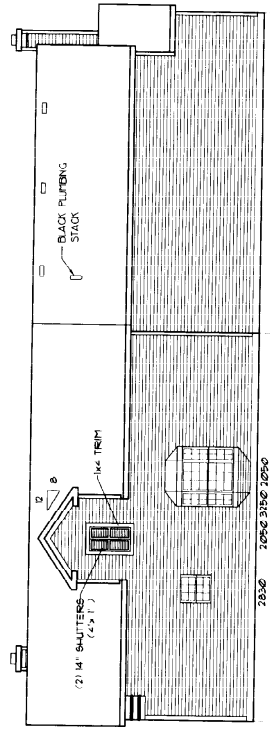
- 15 YEAR ASPHALT SHINGLES ON 1/2" ASPHALT FELT PAPER ON 1/2" GYP BOARD
- 2X WOOD BLDG PANELS @ 8' x 0'2"
- (SEE SECTION ON SHEET N-1)
- UNDOOR 1 DOORS TRIM TO BE "ALUCC"
- OR APPROVED EQUAL AS PLACED & INDICATED
- 6" ALUMINUM FASCIA ON 1/2" WOOD SUB-FASCIA W/ VENTED ALUMINUM SORT
- 4" ALUMINUM GUTTERS AND DOWNSPOUTS 1/2" D.S. IN TO CITY STORM SEWERS
- DOUBLE 4" SIDING
- 1/2" CORNER TRIM
- ALL WINDOWS ARE TO BE SINGLE HUNG THERMAL PANE
- 4" VINYL SHUTTERS (TYP) WHERE INDICATED
- ARCHITECTURAL FINISH
- 6" x 8" CONTINUOUS CONCRETE FOOTING
- STANDARD COACH LIGHT ON LIGHT BLOCKS (TYP) WHERE INDICATED



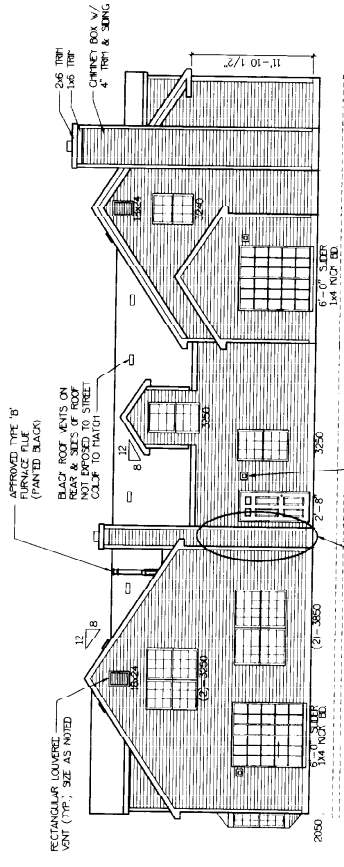
FRONT ELEVATION



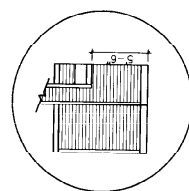
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



DETAIL 'A'

EXHIBIT 'B'
SHEET 3B

I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "H" in Burton Lane Condominium as they have been constructed. The outside of each Unit, when measured as built, will be exactly as certified on the General Plan and will not vary. The entire space within these dimensions makes up each Unit.

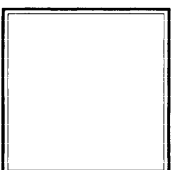
Fred L. Krueger
FRED L. KRUEGER
 REGISTERED ARCHITECT # 5281
 DATE: 4/20/99

54287923
 07/27/1999 11:46 AM
 JONES & BUCKNORTH, SUMMIT CT, ADDITOR

A WATERPROOF MEMBRANE SHALL BE PLACED AT EVERY EAVE EDGE 24" INSIDE THE EXTERIOR WALL LINE

ALL NOTES & DIMENSIONS TAKE PRECEDENCE OVER OTHERS UNLESS OTHERWISE NOTED

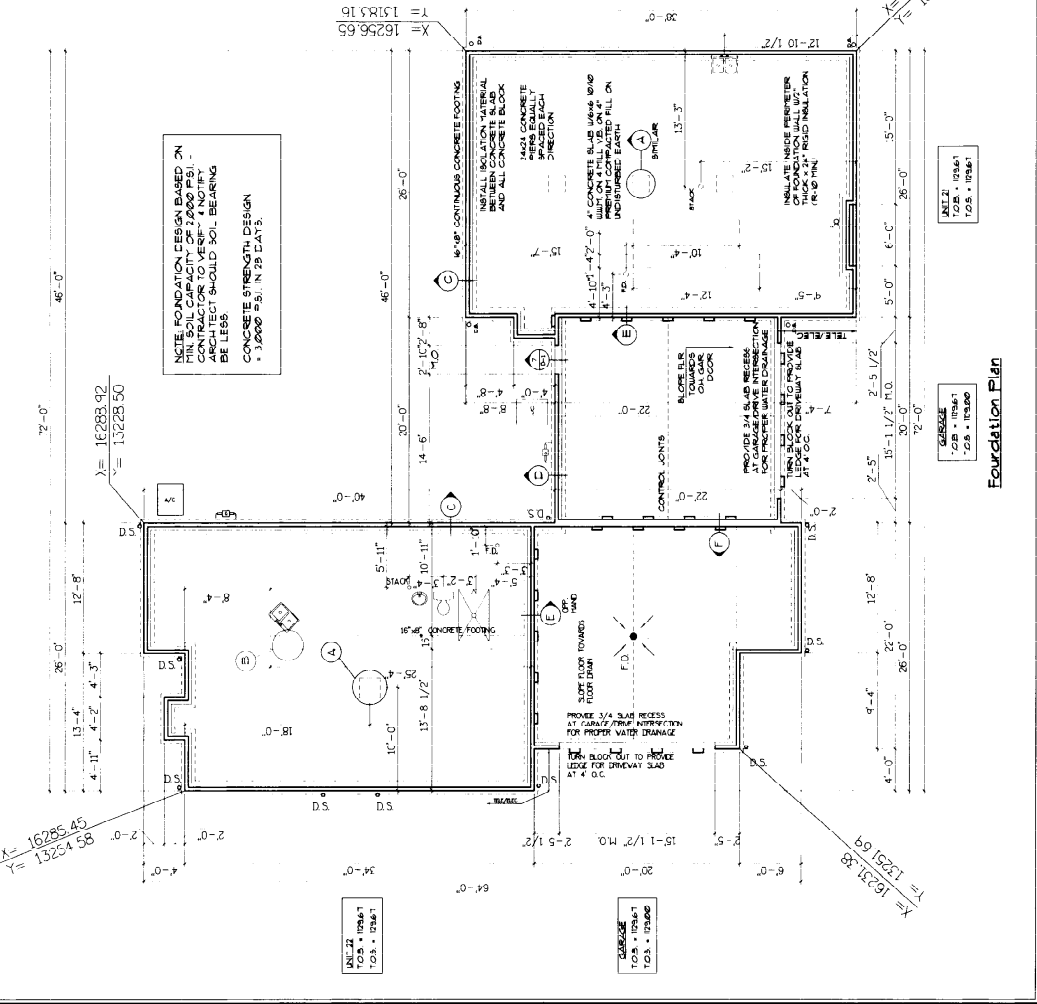
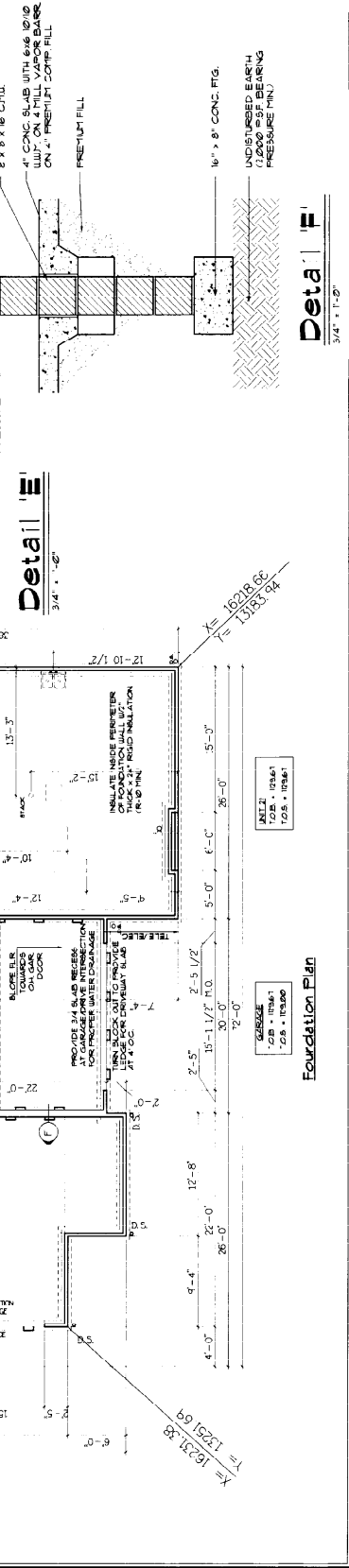
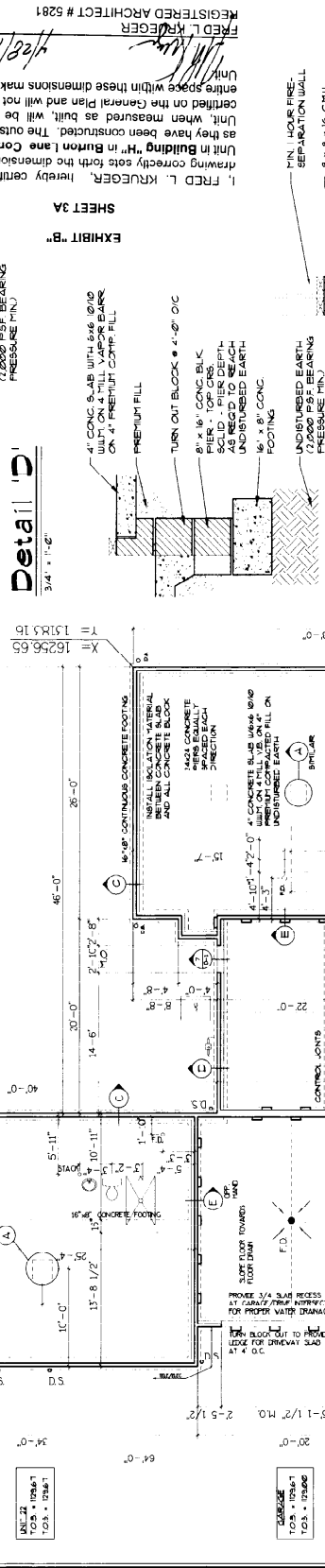
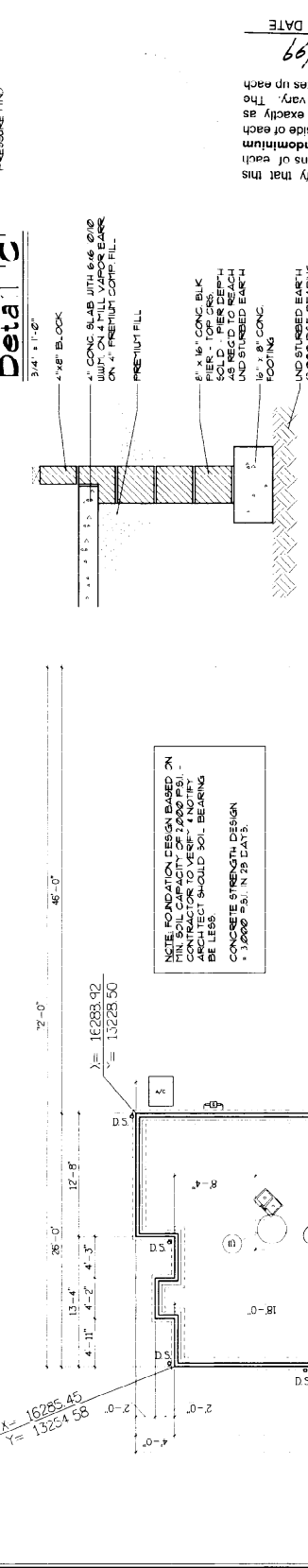
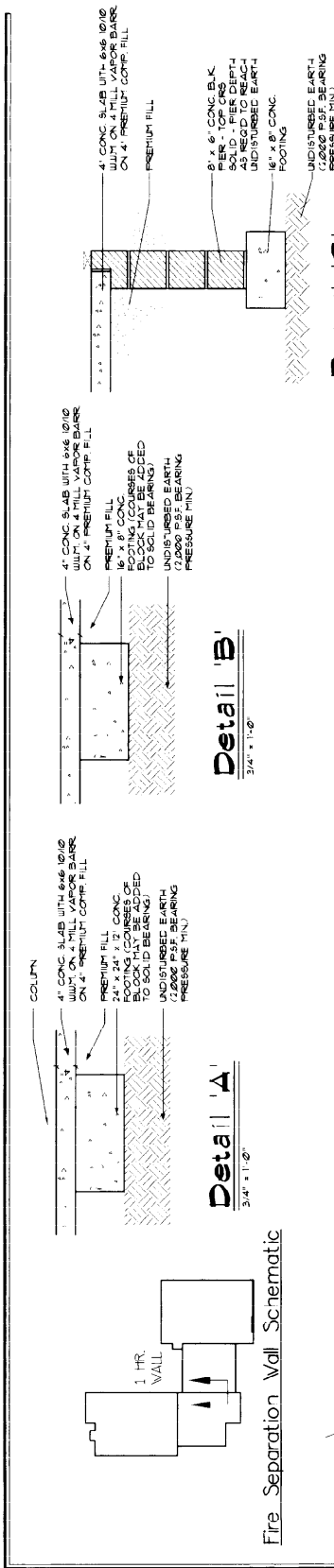
REVISION	DATE



AS-BUILT - FOUNDATION PLAN
BURTON LANE
 BUILDERS DEVELOPERS 216-422-3300
 P.O. BOX 763 TWINSPRING, OHIO 44787

DRAWN: W. SIMMONS
 DATE: APRIL 23, 1995
 SCALE: 1/8"=1'-0"
 PROJECT: BURTON LANE
 FILE NAME: BRN-HIDWG

SHEET: **A-2**
 OF SHEETS



REVISION DATE

AS-BUILT - FOUNDATION PLAN
 BURTON LANE

REGISTERED ARCHITECT # 5281
 FRED L. KRUEGER
 DATE: 4/28/99

DRAWN: W. SIMMONS
 DATE: APRIL 23, 1995
 SCALE: 1/8"=1'-0"
 PROJECT: BURTON LANE
 FILE NAME: BRN-HIDWG

SHEET: **A-2**
 OF SHEETS



54287923
 108 • 10861
 108 • 10861
 108 • 10861

EXHIBIT "B"
DECLARATION OF CONDOMINIUM
THIRD AMENDMENT
FOR

BURTON LANE CONDOMINIUM

(BEING PART OF TWINSBURG TOWNSHIP LOT 21,
TOWNSHIP OF TWINBURG, SUMMIT COUNTY, OHIO

ALSO KNOWN AS BEING BLOCK "A" OF WOODLANDS SUBDIVISION
AS SHOWN BY THE RECORDED PLAT No. 54160438
SUMMIT COUNTY RECORDS)

ADDING UNITS AS CONSTRUCTED—
(UNITS 12, 13 & 14 IN BUILDING "E")
(UNITS 15, 16 & 17 IN BUILDING "F")
(UNITS 18, 19 & 20 IN BUILDING "G")

PLAT NO. 54160438
TAX MAP DEPARTMENT
Cade Taylor
8-9-99
(2) 33

15774
TRANSFERRED
39 AUG 13 PM 2:29

JAMES B. H. ARCHITECT
SUMMIT COUNTY AUDITOR
TRANSFERRED IN COMPLIANCE WITH
SEC. 3123 REV. CODE
54160438
JAMES B. H. ARCHITECT
EST. IN 1978

SUBCORP'S CERTIFICATION

I, ROBERT J. WARNER, hereby certify that the attached drawing entitled Exhibit "B"
Sheet 1 - correctly locates the Condominium Domain containing BURTON LANE
CONDOMINIUM as surveyed and accurately indicates the location of the easements, areas
thereon.

I also certify that Exhibit "B" - Sheet 2 - correctly locates building locations, sizes and
limited common areas for Buildings "E" & "F" as constructed and the proposed location,
size and limited common areas for Building "D" as proposed but not yet constructed.

I also certify that Exhibit "B" - Sheet 4 - correctly locates building locations, sizes and
limited common areas for Buildings "G" & "H" as constructed and the proposed location,
size and limited common areas for Building "C" as proposed but not yet constructed.



Robert J. Warner
REGISTERED SURVEYOR NO. 6931
DATE 7-13-99

ARCHITECT'S CERTIFICATION

I, FRED L. KRUGER, hereby certify that the attached drawings entitled Exhibit "B"
Sheets SA, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

FRED L. KRUGER
REGISTERED ARCHITECT NO. 5281

THIS WILL CERTIFY THAT A COPY OF THIS EXHIBIT "B" TO THE DECLARATION OF
CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM HAS BEEN FILED
IN THE OFFICE OF THE AUDITOR, SUMMIT COUNTY, OHIO

WHITLATCH & CO., GRANTOR

DONALD L. WHITLATCH
TOMAS ZISKIWO
JAN DRSINE
STATE OF OHIO
COUNTY OF SUMMIT
WILLIAM C. WHITLATCH, President

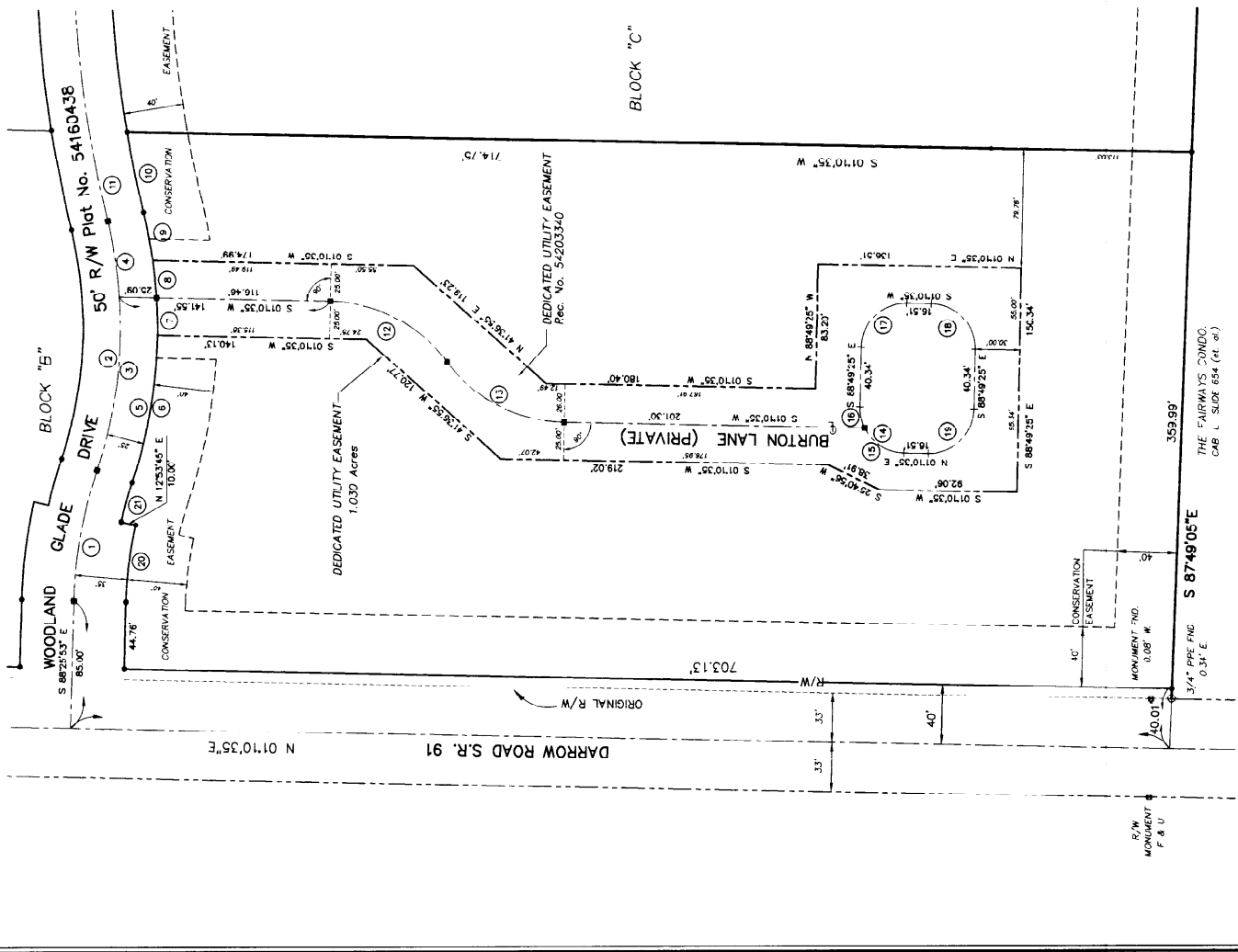
Before me, a Notary Public, in and for said County and State, personally appeared the above
named WHITLATCH & CO., by and through WILLIAM C. WHITLATCH, PRESIDENT, who acknowledged that
he did sign the foregoing instrument and that he made it his free act and deed, personal and
as such officer.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Twinsburg,
Ohio this 14th day of JULY, 1999.

DONALD L. WHITLATCH
Attorney at Law
MY COMMISSION HAS NO EXPIRATION DATE



Donal D. Whitlatch
By Appointment
Notary Public
Expires 12/1999



LEGEND

- IRON PIN OR PIPE FOUND AS DESCRIBED
- 5/8" REBAR SET W/I.D. CAP (ENVR. DESIGN GROUP)
- MONUMENT FOUND
- ▲ 5/8" REBAR SET W/I.D. CAP (ENVR. DESIGN GROUP) IN STD. MONUMENT BOX
- △ P.R. SPIKE FOUND
- ▲ P.R. SPIKE SET
- 49.58'(50.00') MEASURED DIST. (RECORD DIST.)
- R. & U. RECORD & USED
- F. & U. FOUND & USED
- Ⓢ SEE CURVE DATA



GRAPHIC SCALE
(IN FEET)

BASES OF BEARINGS:
THE WOODLAND'S SUBDIVISION
RECORD No. 5416C438

I, ROBERT J. WARNER, HEREBY CERTIFY TO
WHITLATCH & CO., GENERAL SURVEYORS
THAT THIS SURVEY HAS BEEN COMPLETED FROM SURVEY'S MADE BY ME OR UNDER MY SUPERVISION ON AUGUST 27, 1997. THERE ARE NO ENCROACHMENTS OR DEFICIENCIES IN THIS SURVEY. ALL POINTS ARE AS DESCRIBED IN THE INSTRUMENTS REFERRED TO HEREIN. NO STANDING WATER ON THE PROPERTY HAS BEEN SHOWN THERE IS NO MOUND OF STANDING WATER ON THE PROPERTY. THIS SURVEY IS NOT TO BE USED FOR THE FEDERAL INSURANCE ADMINISTRATION AND THE U.S. DEPARTMENT OF HOUSING & URBAN DEVELOPMENT. DISTANCES ARE IN FEET AND DECIMALS THEREOF. THIS SURVEY IS NOT TO BE USED FOR THE FEDERAL INSURANCE ADMINISTRATION AND THE U.S. DEPARTMENT OF HOUSING & URBAN DEVELOPMENT. THIS SURVEY IS NOT TO BE USED TO INDICATE ANGLES ONLY. ALL OF WHICH I CERTIFY TO BE CORRECT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.



Robert J. Warner
7-13-97
REGISTERED STATE SURVEYOR #931

CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	300.00	89.28	44.97	36.95	S 79.54 21° E	17.53 04°
2	300.00	117.86	59.71	52.38	S 82.38 14° E	20.30 49°
3	300.00	117.86	59.71	52.38	S 82.38 14° E	20.30 49°
4	300.00	51.58	25.85	25.85	N 81.10 49° E	09.51 05°
5	300.00	180.34	94.17	130.08	S 79.54 21° E	17.53 04°
6	300.00	180.34	94.17	130.08	S 79.54 21° E	17.53 04°
7	300.00	25.33	12.92	25.02	N 88.42 17° E	04.24 45°
8	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
9	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
10	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
11	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
12	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
13	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
14	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
15	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
16	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
17	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
18	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
19	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
20	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°
21	300.00	25.19	12.60	25.18	N 88.42 17° E	04.24 45°

EXHIBIT "B"
BURTON LANE CONDOMINIUM
CONDOMINIUM DOMAIN



PREPARED BY:
EDG ENVIRONMENTAL DESIGN GROUP
1000 PARK STREET, LINDSEY AVENUE, SUITE 400
400 GRANT STREET, SUITE 400
TEL: (330) 378-1390 FAX: (330) 378-1396

54328878



PRINTED BY: SURVEY CO. AND/ON

THE FAIRWAYS CONDO.
CASE L. SLIDE 654 (4r. 4r.)

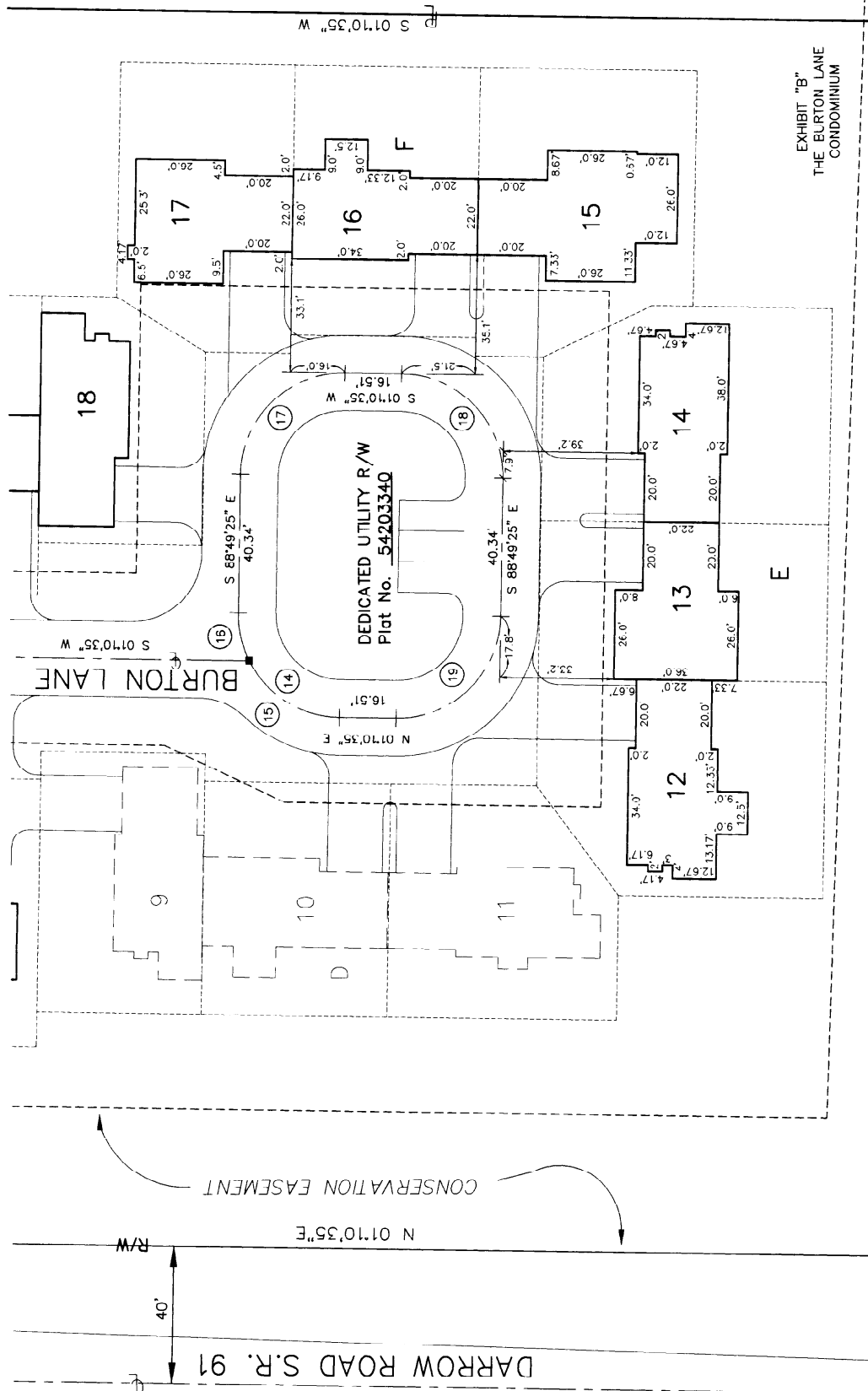


EXHIBIT "B"
THE BURTON LANE
CONDOMINIUM

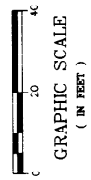
LEGEND

- BUILDING "AS BUILT"
- PROPOSED BUILDING
- LIMITED COMMON AREA LINE
- - - PROPOSED EDGE OF PAVEMENT
- - - EDGE OF PAVEMENT
- - - CENTERLINE OF DRIVE
- - - EASEMENT LINE

I ROBERT J. WARNER, HEREBY CERTIFY TO AND
 AND TITLE AGENCY, INC.
 THAT THIS SURVEY HAS BEEN COMPLETED FROM SURVEYS MADE ON THE GROUND
 UNDER MY SUPERVISION ON AUGUST 27, 1997. THERE ARE NO ENCROACHMENTS
 OR UNRECORDED INSTRUMENTS SHOWN IN TITLE REFERENCE COPIES OF
 RECORDS. THERE IS NO KNOWING OR SUSPECTED WATER OR SEWER FLOW
 HAZARD AS IDENTIFIED BY THE FEDERAL INSURANCE ADMINISTRATION AND THE
 DEPARTMENT OF HOUSING & URBAN DEVELOPMENT DISTRICT OFFICE. THESE
 USED TO INDICATE ANGLES ONLY. ALL OF WHICH I CERTIFY TO BE CORRECT, TO THE
 BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

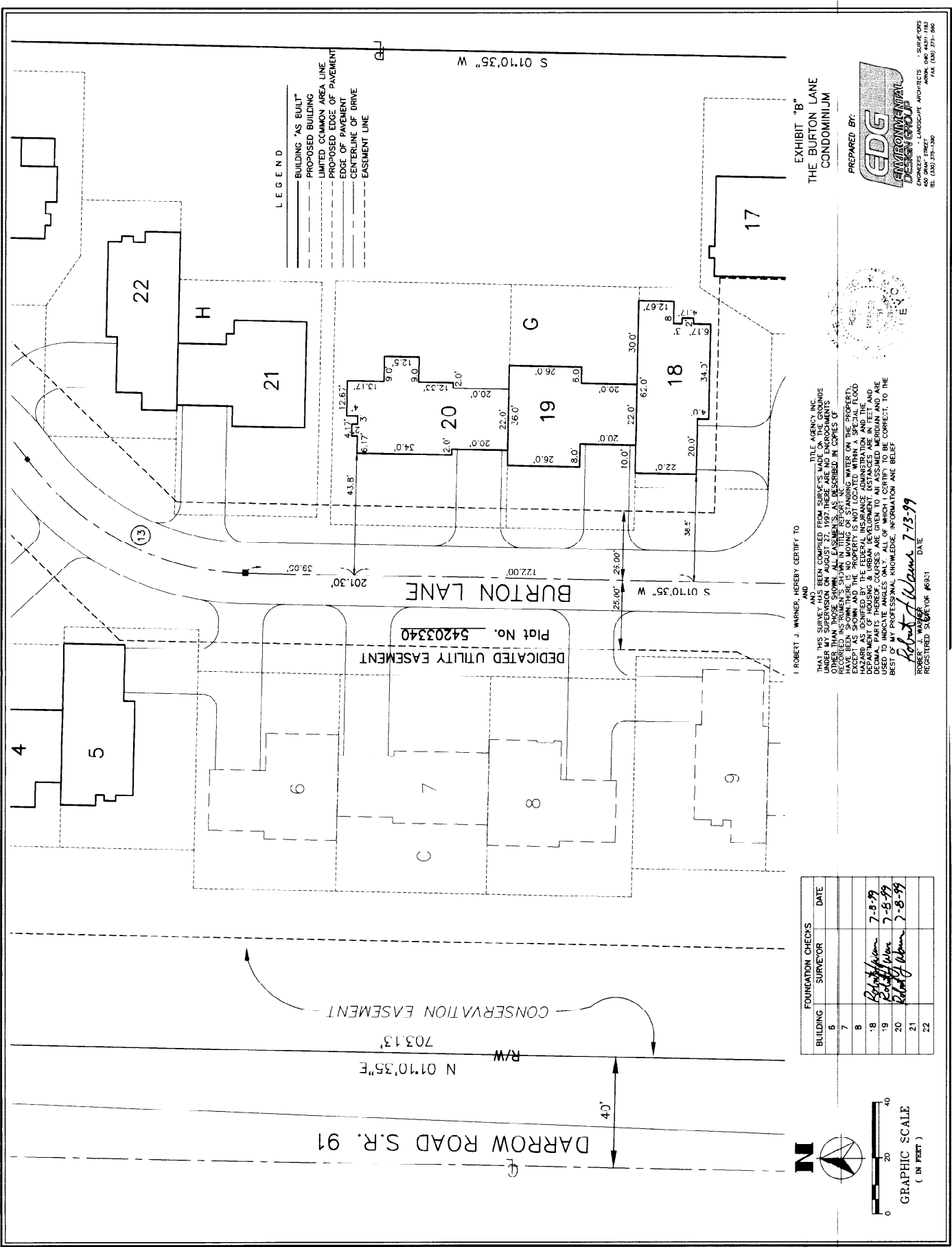


BUILDING	SURVEYOR	DATE
9		
10		
11		
12	Robert Warner	7-8-99
13	Robert Warner	7-8-99
14	Robert Warner	7-8-99
15	Robert Warner	7-8-99
16	Robert Warner	7-8-99
17	Robert Warner	7-8-99



Prepared by: Robert J. Warner 7-13-99
 REGISTERED SURVEYOR #931 DATE

54328878
 8/25/1998 8:23:49
 JAMES S. MCCORTY SURVEY CO. EDITOR



LEGEND

- BUILDING "AS BUILT"
- - - PROPOSED BUILDING
- - - LIMITED COMMON AREA LINE
- - - PROPOSED COMMON AREA LINE
- - - EDGE OF PAVEMENT
- - - CENTERLINE OF DRIVE
- - - EASEMENT LINE

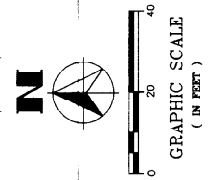
EXHIBIT "B"
THE BURTON LANE
CONDOMINIUM



I ROBERT J. WARNER, HEREBY CERTIFY TO AND AND TITLE AGENCY, INC. THAT THIS SURVEY WAS CONDUCTED FROM SURVEY DATA AND RECORDS UNDER MY SUPERVISION ON AUGUST 27, 1997 THERE ARE NO ENCUMBRANCES OTHER THAN THOSE SHOWN. ALL EASEMENTS AS DESCRIBED IN COPIES OF THIS PLAN HAVE BEEN SHOWN HERE TO MOING OR STANDING WATER ON THE PROPERTY, EXCEPT AS SHOWN AND THE PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL DEPARTMENT OF HOUSING & URBAN DEVELOPMENT. DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. COURSES ARE GIVEN TO ALL ASSUMED MERIDIAN AND ARE GIVEN TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

Robert J. Warner 7-13-99
REGISTERED SURVEYOR #4931 DATE

BUILDING	FOUNDATION CHECKS SURVEYOR	DATE
6		
7		
8	Robert J. Warner	7-8-99
18	Robert J. Warner	7-8-99
19	Robert J. Warner	7-8-99
20	Robert J. Warner	7-8-99
21		
22		



DATE	2/27/99
BY	FRED L. KRUEGER
PROJECT	AS-BUILT FOUNDATION PLAN
OWNER	UNITED STATES GOVERNMENT

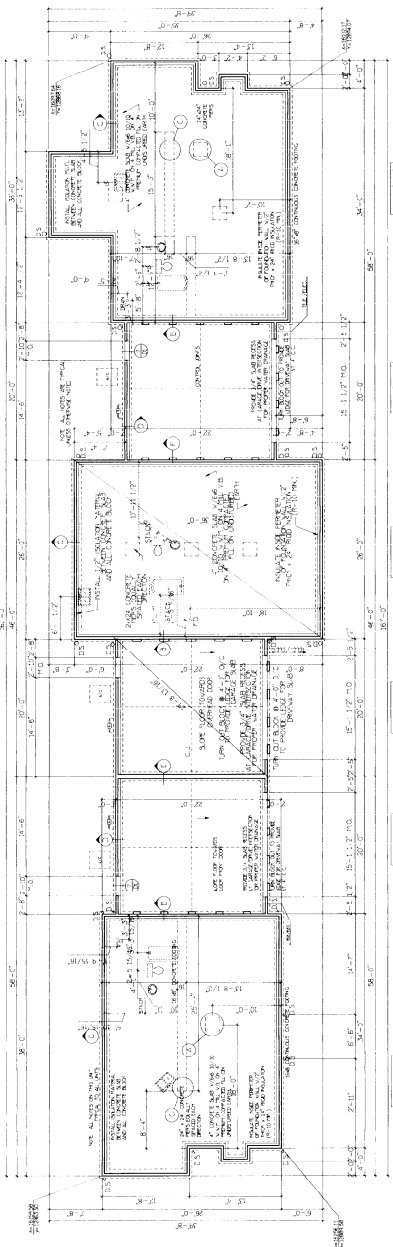
FRED L. KRUEGER
ARCHITECT
125 B. PARK ROAD
WYOMING, OHIO 44097
(330) 445-3560

AS-BUILT - FOUNDATION PLAN
BUILDING 'E' (UNITS #12, 13 & 14)
BURTON LANE
WILLMARTH & CO.
BUILDERS AND CONTRACTORS
P.O. BOX 353 • FARMINGTON, OHIO 44627 • 419 193 1800

DRAWINGS	1
DATE	JULY 16, 1999
SCALE	1/8" = 1'-0"
FILE NAME	BURTON.LAN
BRN-ENWG	

SHEET
A2
SHEETS
OF

NOTE: FOUNDATION DESIGN BASED ON
MIN. U.C.P. OF 2.000 P.S.I. -
ADJUST TO 2.000 P.S.I. -
SPECIFIC SOIL BEARING
BE MASS.
CONCRETE STRENGTH DESIGN
= 3,000 P.S.I. IN 28 DAYS.



Unit #12
Unit #13
Unit #14

Foundation Plan

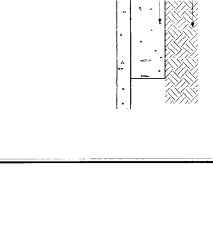
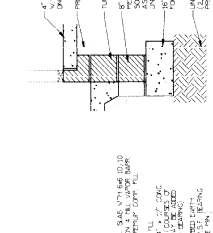
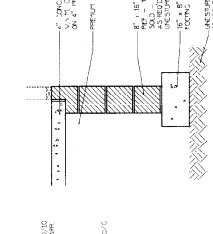
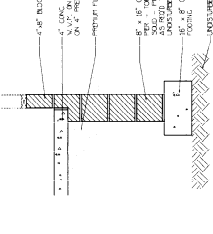
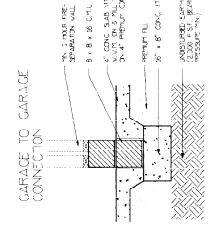
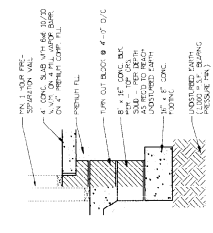
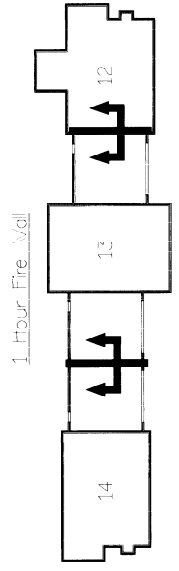


EXHIBIT 'B'
SHEET 'A'
I, FRED L. KRUEGER, hereby certify that the drawing correctly sets forth the dimensions and conditions with which the construction is to be carried out as they have been constructed. The outside of each unit, when measured as built, will not encroach on the existing structure. The outside of each entrance within these dimensions makes up each unit.
DATE: 2/27/99
FRED L. KRUEGER
REGISTERED ARCHITECT # 5281



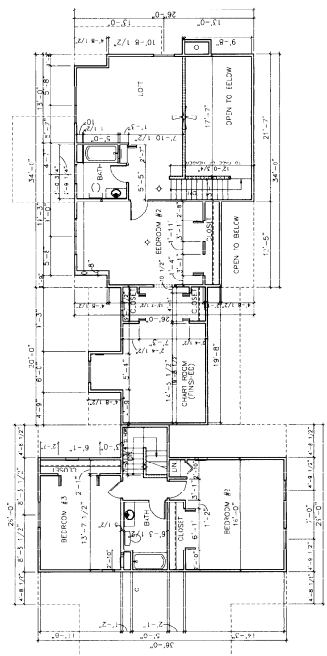
REVISION	DATE

FRED L. KRUEGER
ARCHITECT
1000 W. BURTON LANE
MARIETTA, OHIO 44030
(330) 445-3590

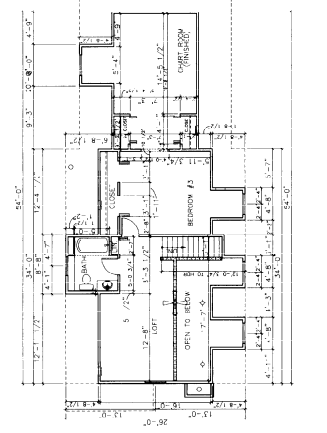
AS-BUILT - FLOOR PLANS
BUILDING 'E' (UNITS #12, 13 & 14)
BURTON LANE

WILLIAMS & CO.
DRAWN BY: W. J. WILSON
DATE: JULY 16, 1959
SCALE: 1/8" = 1'-0"
PROJECT: BURTON LANE
SHEET: BRN-E-15

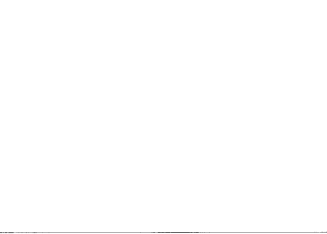
SHEET
OF
SHEETS



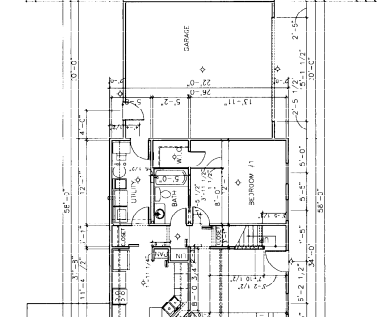
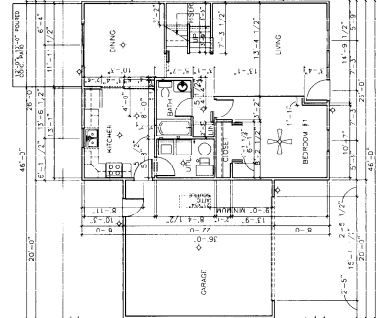
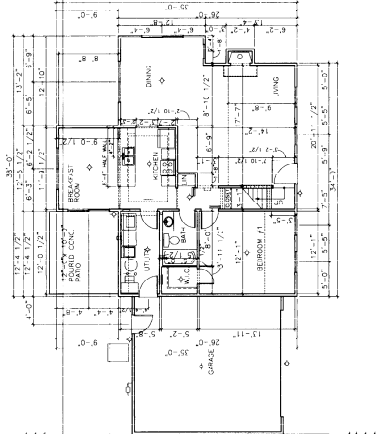
UNIT #12



UNIT #13



UNIT #14



FIRST FLOOR

EXHIBIT 'B'
SHEET 'C'
I, FRED L. KRUEGER, hereby certify that the drawings herein were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Ohio. The undersigned hereby certifies that the drawings herein were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Ohio. The undersigned hereby certifies that the drawings herein were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Ohio.



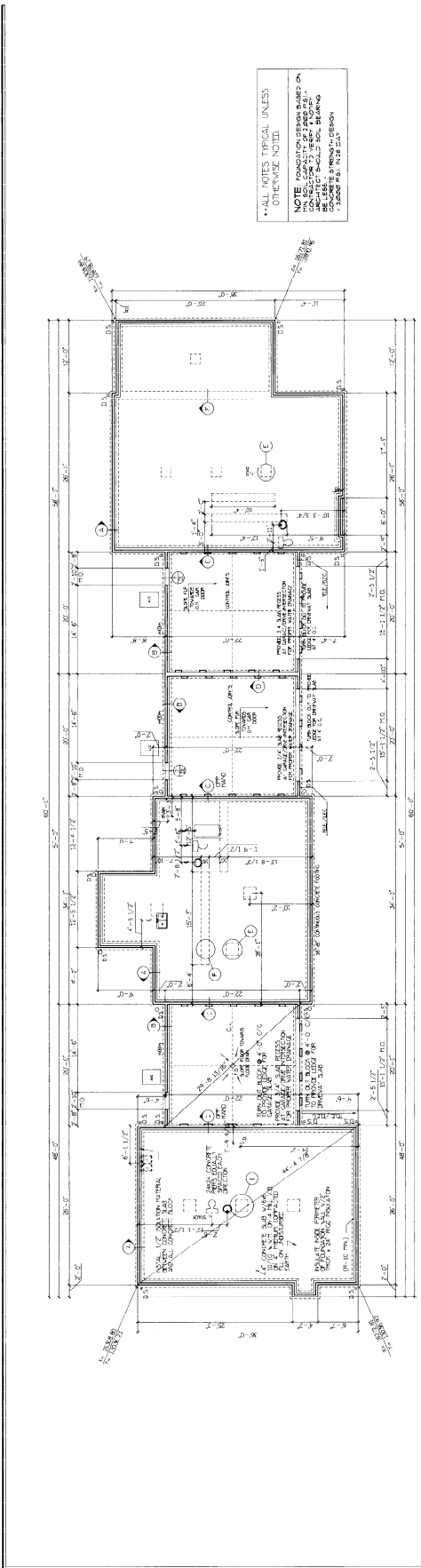
REGISTERED ARCHITECT # 6281

REVISION	DATE

PROJECT ARCHITECT
 L. KRUEGER ARCHITECTS
 1030 AVANNA ROAD
 TWINSBURG, OHIO 44887
 (330) 425-3800

AS-BUILT - FOUNDATION PLAN
FOR BUILDING "F" (UNITS 15-17)
BURTON LANE

SHEET
A-2
 OF
 SHEETS



FOUNDATION DETAIL SHOWN ON SHEETS A-1, A-2, A-3, A-4, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12, A-13, A-14, A-15, A-16, A-17, A-18, A-19, A-20, A-21, A-22, A-23, A-24, A-25, A-26, A-27, A-28, A-29, A-30, A-31, A-32, A-33, A-34, A-35, A-36, A-37, A-38, A-39, A-40, A-41, A-42, A-43, A-44, A-45, A-46, A-47, A-48, A-49, A-50, A-51, A-52, A-53, A-54, A-55, A-56, A-57, A-58, A-59, A-60, A-61, A-62, A-63, A-64, A-65, A-66, A-67, A-68, A-69, A-70, A-71, A-72, A-73, A-74, A-75, A-76, A-77, A-78, A-79, A-80, A-81, A-82, A-83, A-84, A-85, A-86, A-87, A-88, A-89, A-90, A-91, A-92, A-93, A-94, A-95, A-96, A-97, A-98, A-99, A-100'

Foundation Plan

SECTION FOR 1030 FOR 1030 FOR 1030 FOR 1030
1030 1030 1030 1030
1030 1030 1030 1030
1030 1030 1030 1030

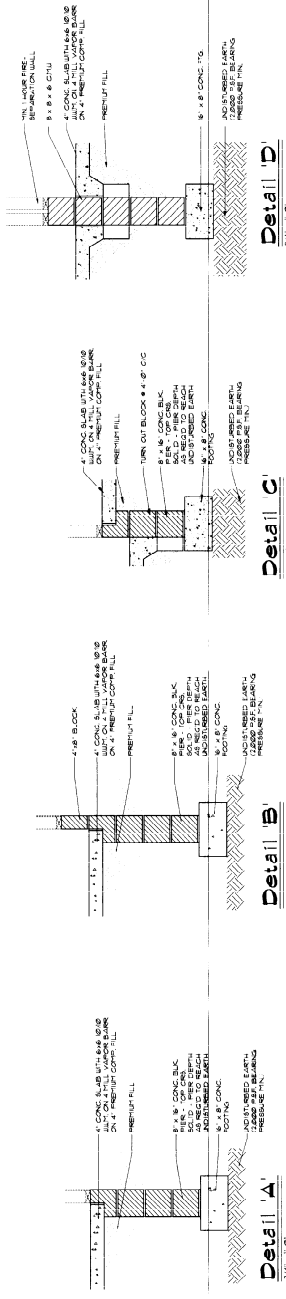
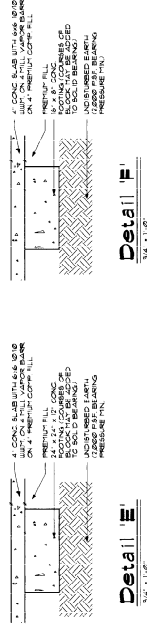


EXHIBIT "F"
 SHEET 30

I, L. KRUEGER, hereby certify that the information contained herein is true and correct as it was presented to me by the client. I am a duly Licensed Professional Engineer in the State of Ohio. My License No. is 9398. I am the Registered Architect for the project. My Registration No. is 6281.



Fire Separation Wall Schematic



REVISION	DATE

FOR THE ARCHITECT'S USE ONLY
 NOT TO BE USED FOR CONSTRUCTION

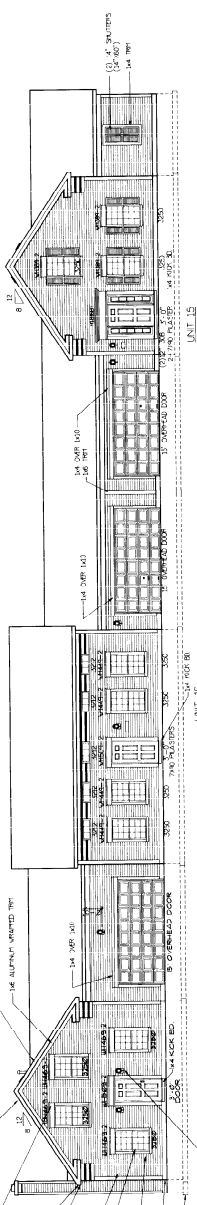
FRED L. KRUEGER
 ARCHITECT
 P.O. BOX 353
 15050 BURTON ROAD
 WILLOUGHBY, OH 44097
 (330) 443-3500

AS-BUILT - ELEVATIONS
 BUILDING "F" (UNITS 15-17)
 BURTON LANE
 WHITATCH & CO.
 BUILDERS AND DECORATORS • P.O. BOX 304 • TWINSBURG, OHIO 44097 • 330.435.4700

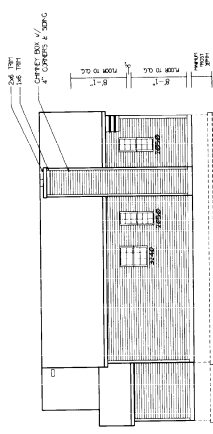
DRAWN BY
 W. SIMMONS
 JULY 19, 1995
 PROJECT NO.
 BURTON LANE
 BRL-F-21WG

SHEET
A-1
 SHEETS

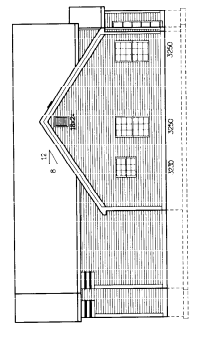
- 1. ALL WINDOWS AND DOORS TO BE FINISHED AS SHOWN.
- 2. USE ASPHALT SHINGLES ON ROOF.
- 3. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 4. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 5. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 6. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 7. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 8. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 9. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 10. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 11. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 12. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 13. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 14. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 15. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 16. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 17. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 18. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 19. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.
- 20. ALL ROOFING TO BE APPROVED BY THE CITY OF CLEVELAND.



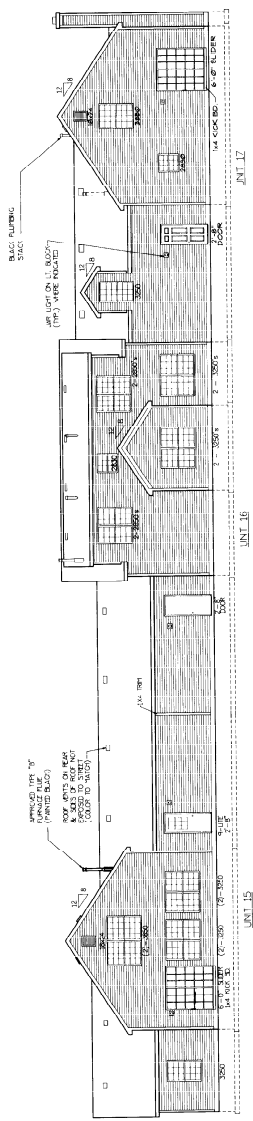
Front Elevation



Left Elevation



Right Elevation



Rear Elevation



EXHIBIT "B"
 SHEET BE
 I, FRED L. KRUEGER, hereby certify that the drawings on this sheet were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Ohio.
 FRED L. KRUEGER
 REGISTERED ARCHITECT # 6381



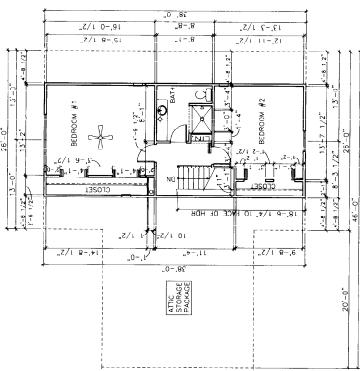
PERSON:	DATE:

FRED L. KRIEGER
 ARCHITECT
 11880 RAVENNA ROAD
 TWINSBURG, OHIO 44887
 (330) 425-3500

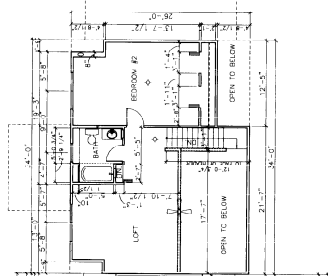
WHITATCH&CO.
 BUILDING AND INTERIORS • P.O. BOX 361 • TWINSBURG, OHIO 44887 • 330 425 3500
AS-BUILT - FLOOR PLANS
BUILDING "F" (UNITS 15-17)
BURTON LANE

W. SIMONS
 DATE 1999
 7/28/00
 BURTON LANE
 BRV-15-16-17

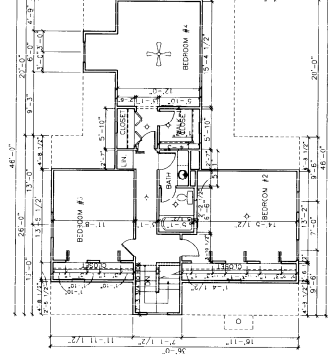
SHEET	SHEETS
	37



UNIT 15

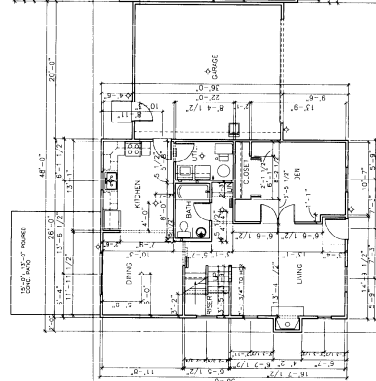
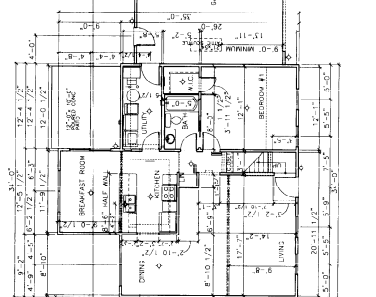
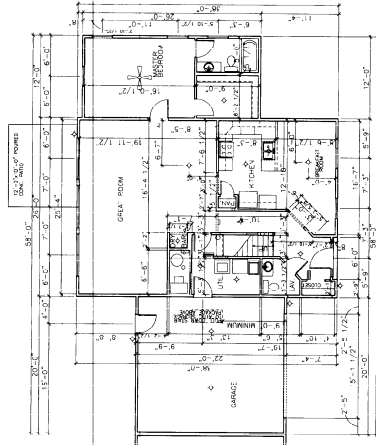


UNIT 16



UNIT 17

SECOND FLOOR



FIRST FLOOR

EXHIBIT "B"
SHEET #9

I, FRED L. KRIEGER, hereby certify that the drawings correctly show both the dimensions of each unit, after measured as built, will be exactly as shown on these drawings. The outside of each unit, after measured as built, will be exactly as shown on these drawings. I am not responsible for any errors, omissions or misstatements in these drawings, which these dimensions make up each unit.



FRED L. KRIEGER
 REGISTERED ARCHITECT # 6281

DATE

REVISION	DATE

FRED L. REIJER
 PROFESSIONAL ENGINEER
 1040 BAYVIEW ROAD
 WILMINGTON, OHIO 45397
 513.264.4110
 513.264.3380

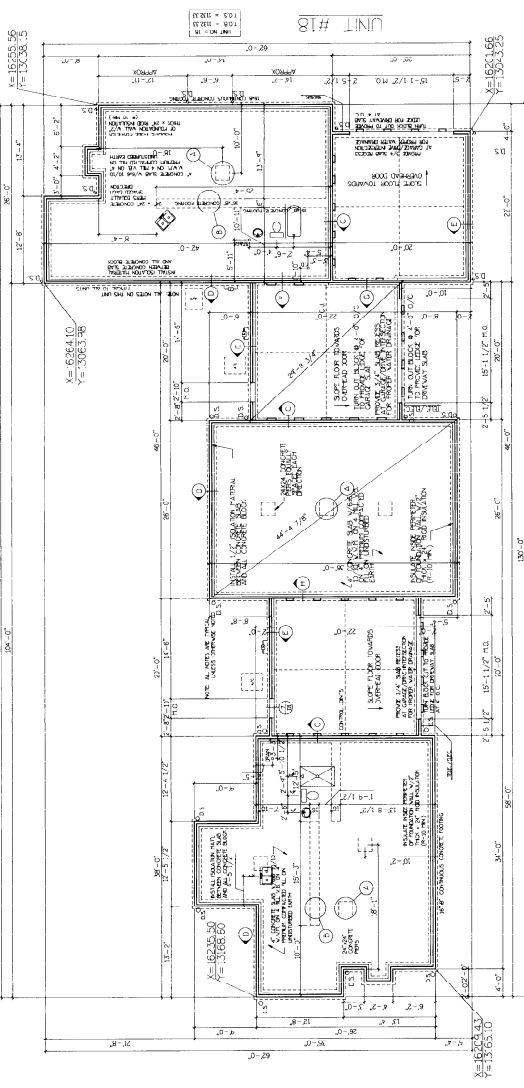
WHITATCH & CO.
 ENGINEERS AND ARCHITECTS
 P.O. BOX 361 • WILMINGTON, OHIO 45397
 513.425-1500

AS-BUILT - FOUNDATION PLAN BUILDING 'G' (UNITS #18, 19 & 20)

ISSUED FOR PERMITS
 DATE: 1999
 SCALE: 1/8" = 1'-0"
 FILE NAME: BURTUN UNIT #18, 19 & 20
 DRAWN BY: BRN-GDMS

SHEET
A2
 OF

NOTE: FOUNDATION DESIGN BASED ON
 MAXIMUM CAPACITY OF 2,000 P.S.F. -
 CONTRACTOR TO VERIFY & NOTIFY
 ARCHITECT SHOULD SOL BEARING
 BE LESS.
 CONCRETE STRENGTH DESIGN
 = 3,000 P.S.F. IN 28 DAYS.



Foundation Plan

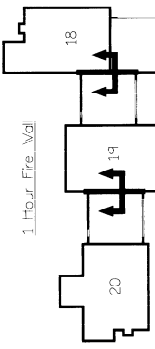
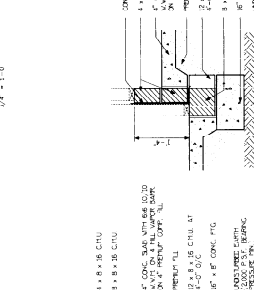
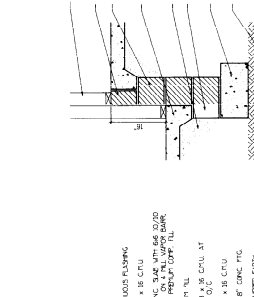
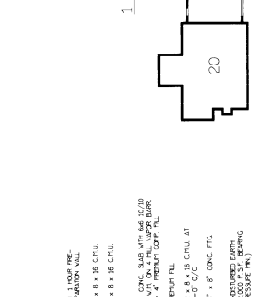
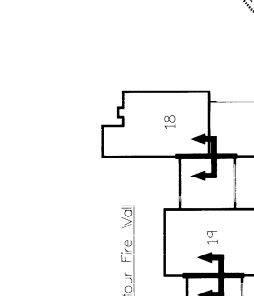
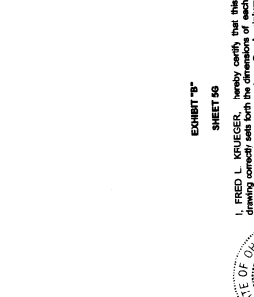
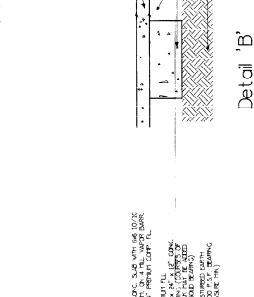
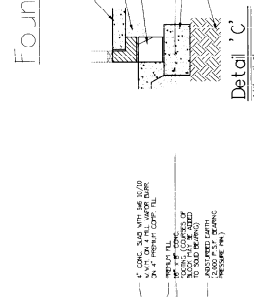
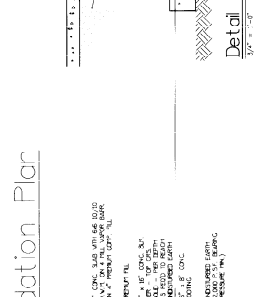
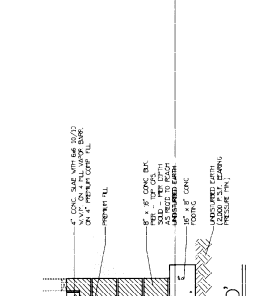
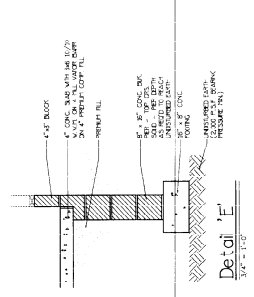


EXHIBIT 'B'
 SHEET 80
 I, FRED L. REIJER, hereby certify that the
 drawing herein sets forth the dimensions of each
 Unit in Building 'G' in Accordance with the
 Unit, when measured as built, will be exactly as
 certified on the General Specifications unless up
 upon which these dimensions make up each
 UNIT.



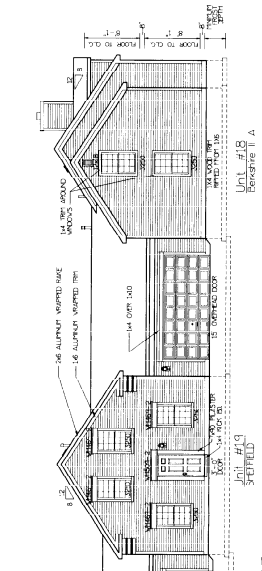
REVISION	DATE

FRED L. KRUEGER
ARCHITECT
P.O. BOX 183
WINDSOR, OHIO 44097
(330) 425-3500

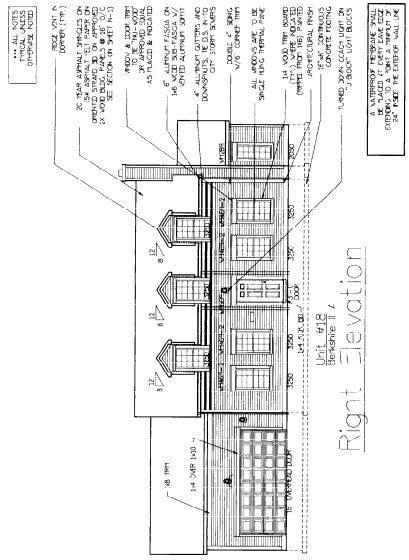
AS-BUILT - ELEVATIONS
BUILDING 'G' (UNITS #18, 19 & 20)
BURTON LANE
WHITARCH&CO
BUILDERS AND DEVELOPERS • P.O. BOX 153 • INDIANBURG, OHIO 44087 • 330-422-3000

DRAWN BY
W. CHIC
JULY 17, 1999
PROJECT
/S
SCALE
FULL SCALE
BRN-2-DWG

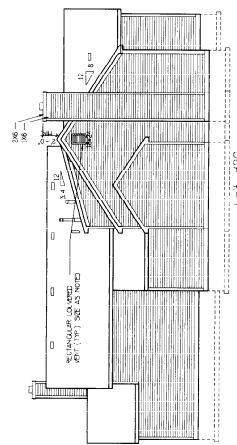
SHEET
A1
OF 5 SHEETS



Front Elevation

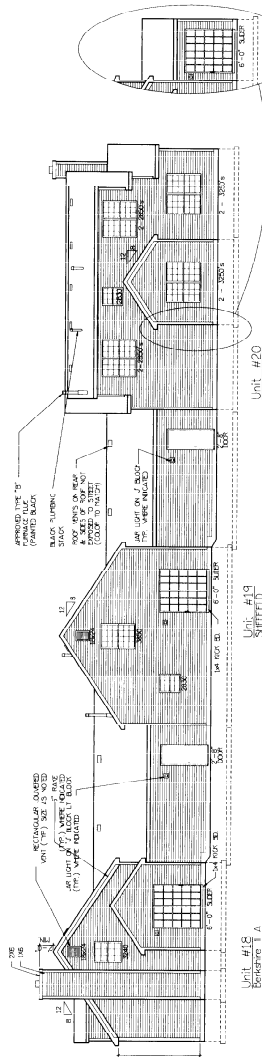


Right Elevation



Left Elevation

- 1. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 2. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 3. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 4. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 5. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 6. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 7. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
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- 9. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 10. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 11. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 12. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
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- 14. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 15. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
- 16. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.
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- 20. ALL NOTES APPLY TO THIS ELEVATION UNLESS NOTED OTHERWISE.



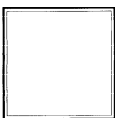
Rear Elevation

EXHIBIT "B"
SHEET "B"
I, FRED L. KRUEGER, hereby certify that the drawings contained herein were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Ohio. The outside of each unit, when measured as shown, will be constructed in accordance with the dimensions shown on these drawings. The entire group within these dimensions measure up each unit.

FRED L. KRUEGER
REGISTERED ARCHITECT # 5211



REVISION	DATE



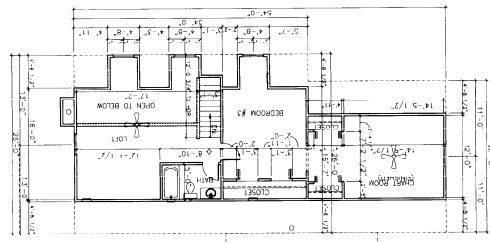
FRED L. KLEEGER
 ARCHITECT
 P.O. BOX 163
 108 EAST MAIN ROAD
 WAUKESHA, WI 53186
 (330) 425-3500

WHITATCH & CO.
 BUILDERS AND DEVELOPERS • P.O. BOX 203 • THUNDERBOLT, OHIO 44067 • 220-422-2200

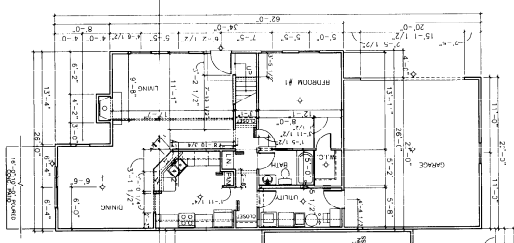
**AS-BUILT - FLOOR PLANS
 BUILDING 'G' (UNITS #18, 19 & 20)
 BURTON LANE**

DRAWN BY: SIMMONS
 JULY 19, 1996
 PROJECT NO.: 1/3
 BY: BRN-GJWG

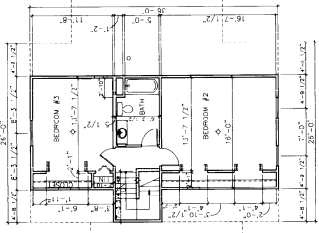
SHEET	OF	SHEETS



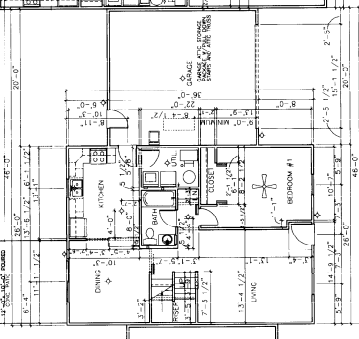
UNIT #18



UNIT #19



UNIT #20



FIRST FLOOR

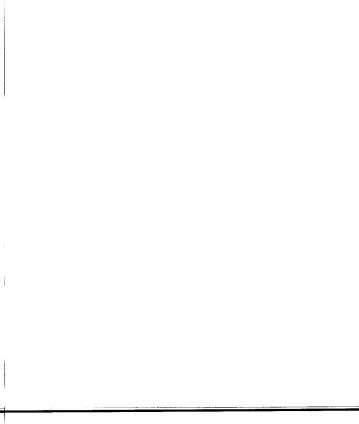
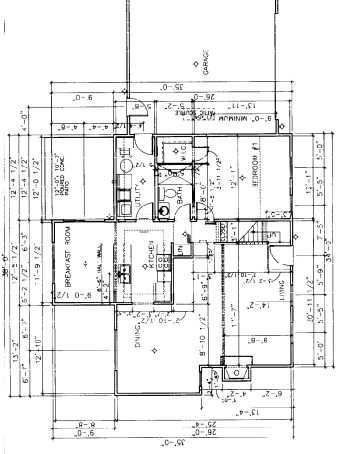


EXHIBIT "B"
SHEET 6

I, FRED L. KLEEGER, hereby certify that the Plans in Building "G" in Burton Lane Condominium as they have been prepared and as such, will be exactly as certified on the General Plan and will not vary. The same comply with these amendments thereto.

FRED L. KLEEGER
 REGISTERED ARCHITECT # 6281



TWINS 12-2-99
Not Approved By
TAX MAP DEPARTMENT

James B. McCarty
By: Val Sauerbrey
Deputy Auditor
Dec. 2, 1999

EXHIBIT "B" DECLARATION OF CONDOMINIUM FOURTH AMENDMENT FOR

TRANSFERRED
99 DEC -3 AM 10:59
JAMES B. MCCARTHY
SUMMIT COUNTY AUDITOR
23888
TRANSFERRED IN COMPLIANCE WITH
DEC. 11, 1999
\$ -75 FEE
JAMES B. MCCARTHY
County Auditor
Whitlatch Box

BURTON LANE CONDOMINIUM (BEING PART OF TWINSBURG TOWNSHIP LOT 21, TOWNSHIP OF TWINBURG, SUMMIT COUNTY, OHIO ALSO KNOWN AS BEING BLOCK "A" OF WOODLANDS SUBDIVISION AS SHOWN BY THE RECORDED PLAT No. 54160438 SUMMIT COUNTY RECORDS)

ADDING UNITS AS CONSTRUCTED- (UNITS 6, 7 & 8 IN BUILDING "C") (UNITS 9, 10 & 11 IN BUILDING "D")

WHITLATCH & CO., GRANTOR

SURVEYOR'S CERTIFICATION

I, ROBERT J. WARNER, hereby certify that the attached drawing entitled Exhibit "B"
Sheet 2, correctly depicts the Condominium Domain containing BURTON LANE
CONDOMINIUM as surveyed and accurately indicates the location of the easements located
thereon.
I also certify that Exhibit "A" Sheet 4, correctly locates building locations, sizes and
limited common areas for Buildings "C", "D" & "E" as constructed.
I also certify that Exhibit "C" Sheet 4, correctly locates building locations, sizes and
limited common areas for Buildings "C", "D" & "E" as constructed.

Robert J. Warner
REGISTERED SURVEYOR NO. 6931

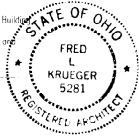
12-1-99



ARCHITECT'S CERTIFICATION

I, FRED L. KRUEGER, hereby certify that the attached drawings entitled Exhibit "B"
Sheet 5A through 5F, inclusion, correctly set forth the dimension of each unit in Buildings
"C" & "D" in BURTON LANE CONDOMINIUM as they have been constructed. The outside
of each Unit when measured as built, will be exactly as certified on the General Plan
with minor variance within these dimensions makes up each Unit.
F. L. Krueger
REGISTERED ARCHITECT NO. 5281

THIS WILL CERTIFY THAT A COPY OF THIS EXHIBIT "B" TO THE DECLARATION OF
CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM HAS BEEN FILED
IN THE OFFICE OF THE AUDITOR, SUMMIT COUNTY, OHIO.



BY: Donald L. Martin, Secretary
Print Name: MAURICE STOCKMAN

WITNESS:
Mark J. Stockman
Print Name: MAURICE STOCKMAN

STATE OF OHIO)
COUNTY OF SUMMIT)

WITNESS:
Joan Erskine
Print Name: JOAN ERSKINE

Before me, a Notary Public, in and for said County and State, personally appeared the above
named WHITLATCH & CO., by and through DONALD L. MARTIN, Secretary, who acknowledged that he
did sign the foregoing instrument and that the same is his free act and deed, personally and as
such officer.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Twinsburg,
Ohio this 30th day of NOVEMBER, 1999.

Mark J. Stockman
NOTARY PUBLIC



Mark J. Stockman, Attorney
Notary Public, State of Ohio
My Commission No. 14703 U.M.C.
Section 147.03 U.M.C.

OTHER INSTRUMENTS RELIED UPON

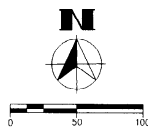
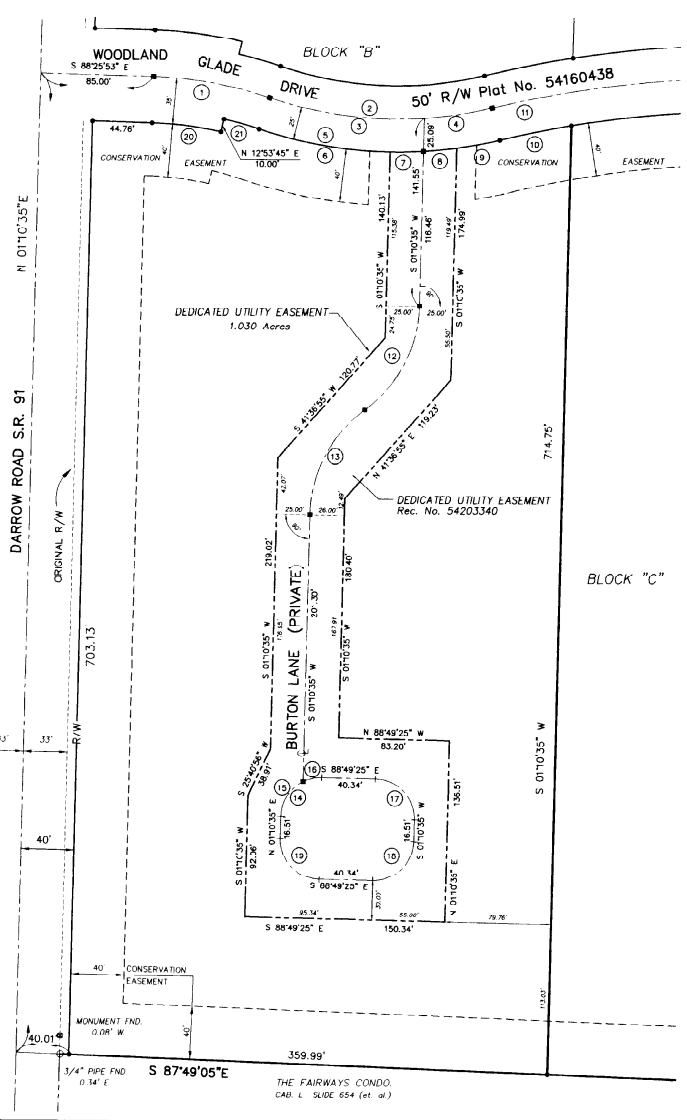
- The Woodlands Subdivision No. 1 Reception No. 54160428
- Re Recording of the Woodlands No. 1 - Reception No. 54201609
- Burton Lane Utility Plat Reception No. 54203240
- Declaration of Condominium Ownership and all exhibits - Reception No. 54160417
- First Amendment Reception No. 5426788
- Second Amendment Reception No. 54267925
- Third Amendment Reception No. 54328878

Whitlatch & Co

PHONE 330-425-3500 FAX: 330-425-7815
P.O. BOX 363 TWINSBURG, OHIO 44087

54369137
Page 1 of 10
12/03/1999 11:06:00
JAMES B. MCCARTHY SUMMIT CO. AUDITOR

1



GRAPHIC SCALE
(IN FEET)

BASES OF BEARINGS:
THE WOODLANDS SUBDIVISION
RECORD No. 54160438

- LEGEND**
- IRON PIN OR PIPE FOUND AS DESCRIBED
 - 1/4" REBAR SET W/L.D. CAP (EQUIV. DESIGN GROUP)
 - MONUMENT FOUND
 - 3/8" REBAR SET W/L.D. CAP (EQUIV. DESIGN GROUP) IN STD. MONUMENT BOX
 - ▲ R.R. SPIKE SET
 - ▲ MEASURED DIST. (RECORD DIST.)
 - R & U. RECORD & USED
 - F. & U. FOUND & USED
 - (20) SEE CURVE DATA

I ROBERT J. WARDNER, HEREBY CERTIFY TO WHILATCH & CO. GENERAL TITLE AGENCY INC. THAT THIS SURVEY HAS BEEN COMPILED FROM SURVEYS MADE ON THE GROUNDS UNDER MY SUPERVISION ON AUGUST 27, 1997. THERE ARE NO ENCUMBRANCES OTHER THAN THOSE SHOWN. ALL EASEMENTS, AS DESCRIBED IN COPIES OF RECORDED INSTRUMENTS SHOWN IN TITLE REPORT NO. 54160438, HAVE BEEN SHOWN. THERE IS NO MOVING OR STANDING WATER ON THE PROPERTY, EXCEPT AS SHOWN AND THE PROPERTY IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AS IDENTIFIED BY THE FEDERAL INSURURABLE FLOOD HAZARD AND THE DEPARTMENT OF HOUSING & URBAN DEVELOPMENT. WITHIN AND NEAR THE NEARBY RIGHTS THEREOF, COURSES ARE GIVEN TO AN ASSUMED MEDIAN AND ARE USED TO INDICATE ANGLES ONLY. ALL OF WHICH I CERTIFY TO BE CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

Robert J. Wardner
12-1-99
ROBERT J. WARDNER
REGISTERED SURVEYOR #6931



CURVE DATA

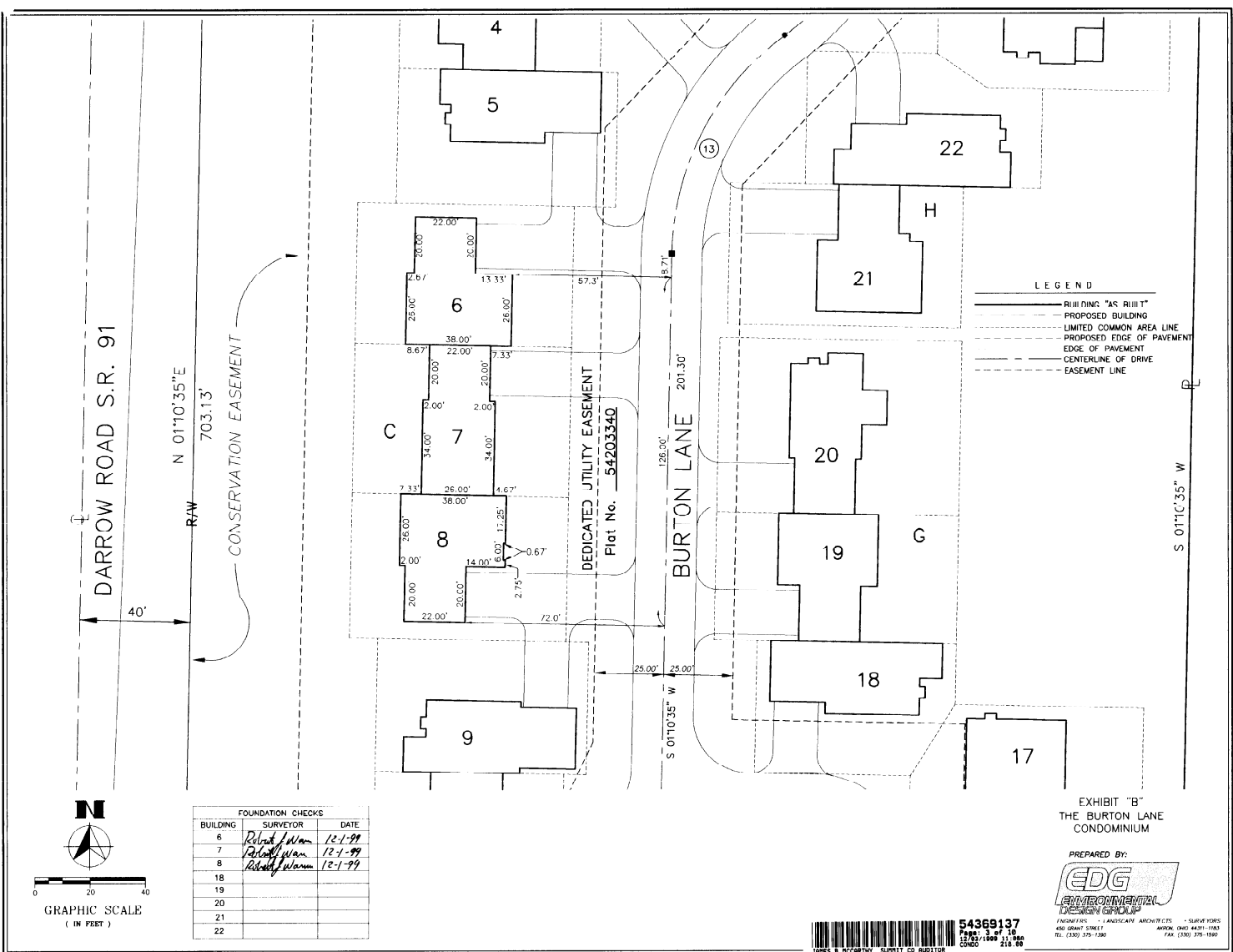
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	300.00'	89.28'	44.97'	86.85'	S 79°54'21" E	17°03'03"
2	300.00'	169.48'	87.06'	187.22'	S 87°33'48" E	32°21'53"
3	300.00'	117.88'	59.71'	117.12'	S 82°38'14" E	22°50'48"
4	300.00'	51.58'	25.85'	51.52'	N 81°10'49" E	09°51'05"
5	325.00'	183.58'	94.31'	181.15'	S 87°33'48" E	32°21'53"
6	325.00'	100.46'	50.63'	100.06'	S 80°14'08" E	17°42'36"
7	325.00'	25.03'	12.50'	25.02'	N 88°42'12" E	04°24'45"
8	325.00'	25.18'	12.60'	25.18'	N 84°18'36" E	04°28'28"
9	325.00'	32.91'	16.47'	32.89'	N 79°09'20" E	05°48'06"
10	375.00'	54.84'	27.43'	54.83'	N 78°16'50" E	04°03'18"
11	600.00'	271.13'	136.88'	269.84'	N 85°57'50" E	19°25'08"
12	100.00'	91.89'	46.30'	88.51'	S 27°26'54" W	52°31'56"
13	100.00'	91.89'	46.30'	88.51'	S 27°26'54" W	52°31'56"
14	30.00'	17.32'	8.66'	17.32'	N 46°10'35" E	30°00'00"
15	30.00'	32.57'	16.29'	31.12'	N 32°25'09" E	62°29'08"
16	30.00'	14.11'	7.06'	14.27'	N 25°25'05" E	27°50'52"
17	30.00'	47.12'	23.56'	42.43'	D 43°49'25" E	90°00'00"
18	30.00'	47.12'	23.56'	42.43'	S 46°10'35" W	90°00'00"
19	30.00'	47.12'	23.56'	42.43'	N 43°40'05" W	90°00'00"
20	366.00'	59.30'	29.78'	52.30'	S 82°48'04" E	11°10'38"
20	100.00'	92.84'	50.07'	89.54'	N 51°32'48" W	53°11'30"
21	275.00'	27.47'	13.75'	27.46'	S 74°14'32" E	05°43'25"

EXHIBIT "B"
BURTON LANE CONDOMINIUM
CONDOMINIUM DOMAIN



JAMES B. FICHERTNY SURVEY CO. ADDITION

54369137
Page 2 of 18
12/01/1998 2:18:30
CONDO



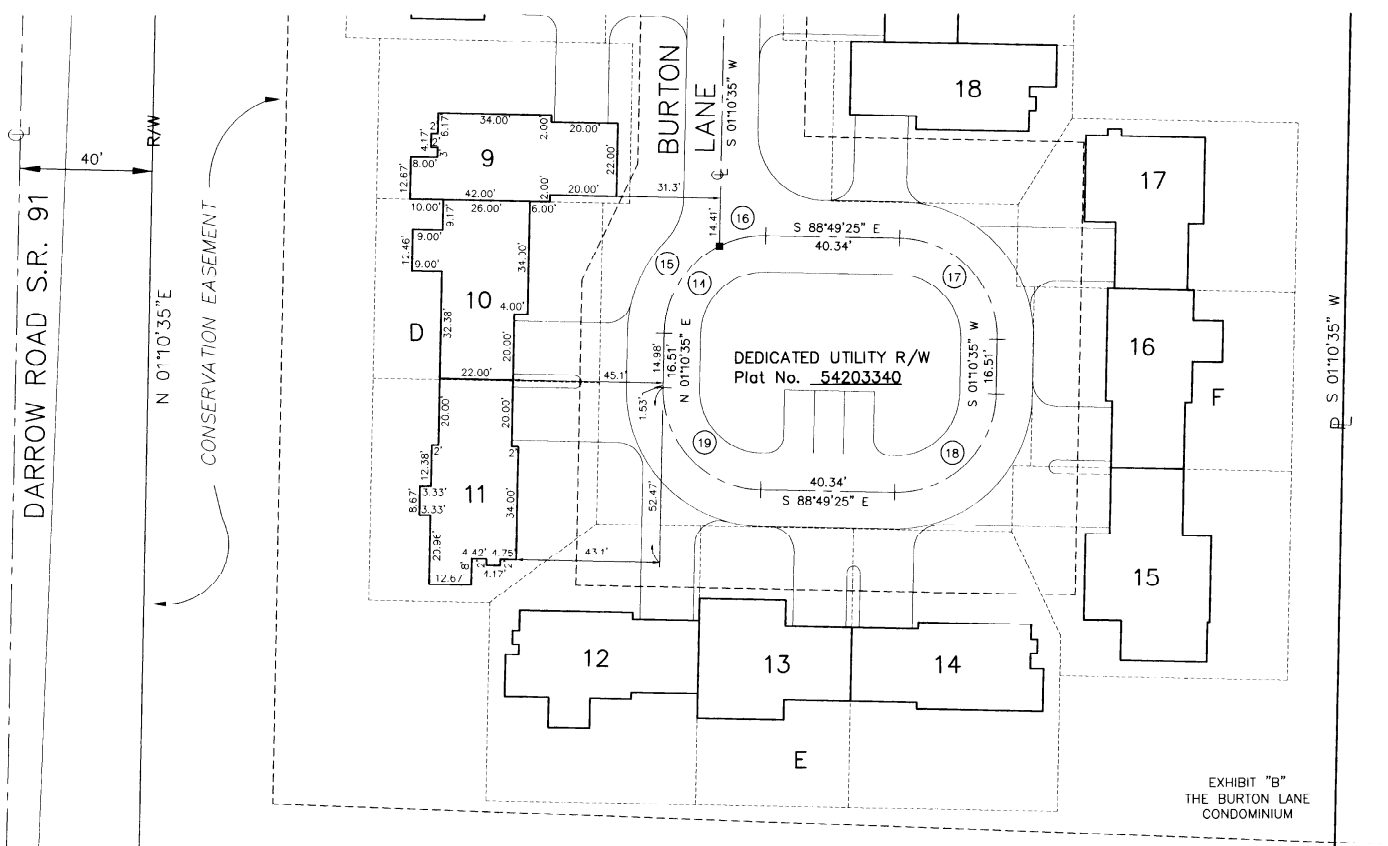


EXHIBIT "B"
THE BURTON LANE
CONDOMINIUM

LEGEND

- BUILDING "AS BUILT"
- PROPOSED BUILDING
- LIMITED COMMON AREA LINE
- PROPOSED EDGE OF PAVEMENT
- EDGE OF PAVEMENT
- CENTERLINE OF DRIVE
- EASEMENT LINE

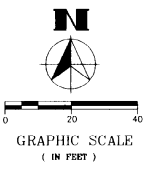
PREPARED BY:

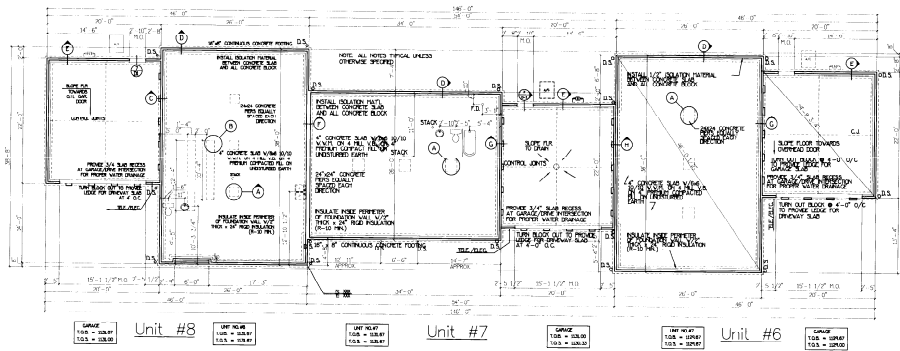


54369137
Page 4 of 10
12/01/99 11:00
CONDO 216 00

ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS
400 GREAT STREET APT. 1000, PHO 4621-1188
TEL (330) 370-1980 FAX (330) 370-1980

FOUNDATION CHECKS		
BUILDING	SURVEYOR	DATE
9	<i>Robert Wynn</i>	12-1-99
10	<i>Robert Wynn</i>	12-1-99
11	<i>Robert Wynn</i>	12-1-99
12		
13		
14		
15		
16		
17		





NOTE: FOUNDATION DESIGN BASED ON MIN. SOIL CAPACITY OF 2,000 P.S.F. - CONTRACTOR TO VERIFY & NOTIFY ARCHITECT SHOULD SOIL BEARING BE LESS.

CONCRETE STRENGTH DESIGN = 3,000 P.S.I. IN 28 DAYS.

Foundation Plan

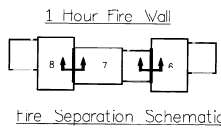
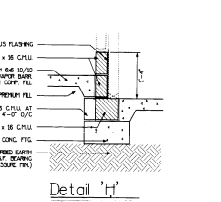
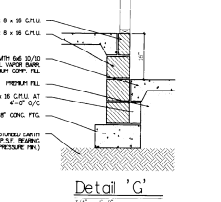
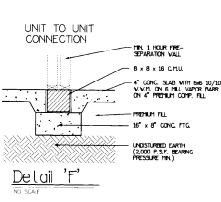
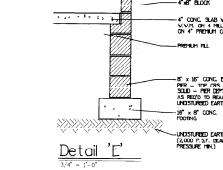
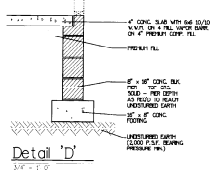
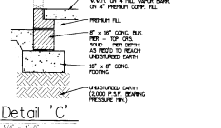
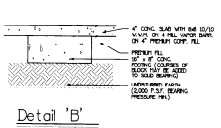
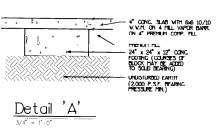
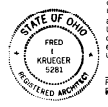


EXHIBIT "B"
SHEET 5A



FRED L. KRUEGER, hereby certifies that this drawing correctly sets forth the dimensions of each item in Building "C" in Burton Lane Condominiums as they have been constructed. The outside of each Unit, when measured as built, will be exactly as certified on the General Plan and will not vary. The entire space within these dimensions makes up each Unit.

FRED L. KRUEGER
REGISTERED ARCHITECT # 5281

REVISION LIST

FRED L. KRUEGER
REGISTERED ARCHITECT
2010 BURTON LANE
TOLEDO, OHIO 44001
(419) 475-3500

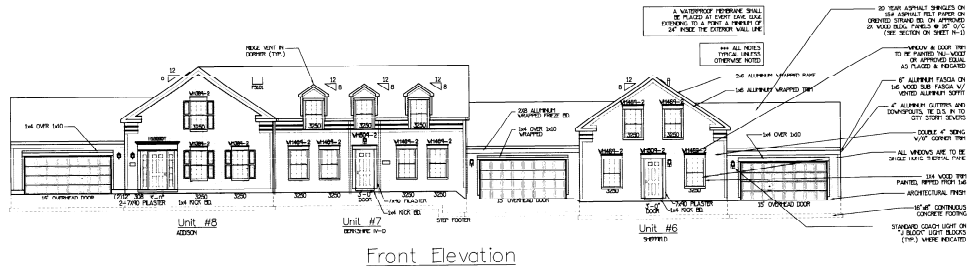
AS-BUILT - FOUNDATION PLAN
BUILDING "C" (UNITS #6, 7 & 8)
BURTON LANE CONDOMINIUMS
WHITLATCH & CO. ARCHITECTS AND ENGINEERS

54269137
JUNE 24, 1999
SCALE: 1/8" = 1'-0"
PROJECT: BURTON LANE
FILE NAME: DRN - C.DWG

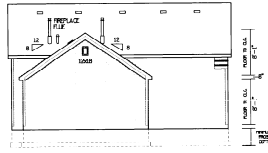
STATE OF OHIO
FRED L. KRUEGER
REGISTERED ARCHITECT

A2

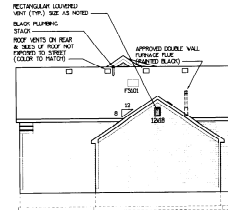
SHEET 5A
5 SHEETS



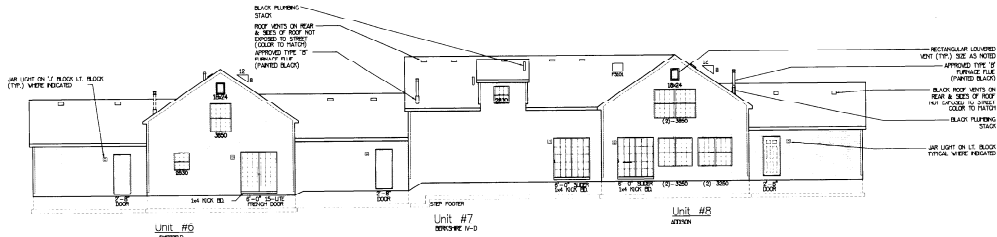
Front Elevation



Left Elevation



Right Elevation



Rear Elevation

REVISION	DATE

FRED L. KRUEGER
ARCHITECT
P.O. BOX 363
TORONTO, ONTARIO M6G 1R8
(416) 461-1101
(313) 425-3500

AS-BUILT - ELEVATIONS
BUILDING 'C' UNITS #6, 7 & 8
BURTON LANE
WHITLATCH & CO. ARCHITECTS & ENGINEERS

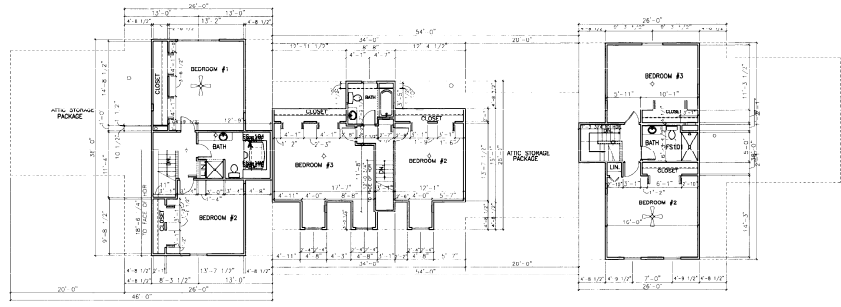


EXHIBIT "B"
SHEET #0

I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "C" in Burton Lane Condominium as they have been constructed. The contents of each Unit, when measured as built, will be exactly as certified on the General Plan and will not vary. The units shown within these dimensions make up each Unit.
 FRED L. KRUEGER 12/1/99 DATE
 REGISTERED ARCHITECT # 5261



DRAWN	DATE
DATE	1999
SCALE	1/8" = 1'-0"
PROJECT	BURTON LANE
FILE NAME	0814 - P. 1/10
SHEET	A1

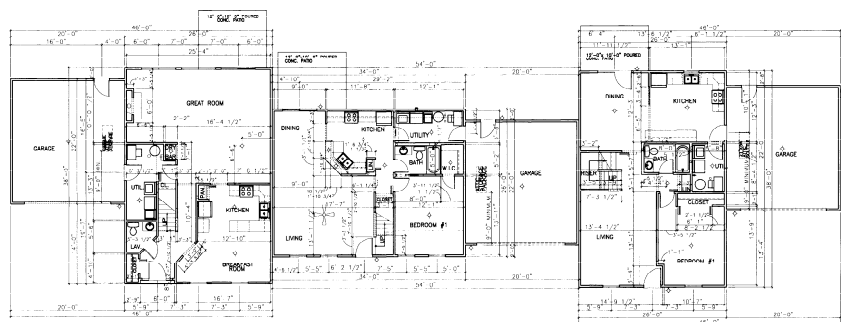


SECOND FLOOR PLAN

UNIT #8

UNIT #7

UNIT #6



FIRST FLOOR PLAN



EXHIBIT "B"
SHEET 8C



I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "C" in Burton Lane Condominium as they have been constructed. The outside of each Unit, when measured as built, will be exactly as certified on the General Plan and will not vary. The errors appear within these dimensions makes up each Unit.

Fred L. Krueger
 FRED L. KRUEGER
 REGISTERED ARCHITECT # 5281
 DATE 2/1/09

REVISION	DATE

FRED L. KRUEGER
 ARCHITECT
 P.O. BOX 363
 10000 SANDHURST ROAD
 TAYLORSVILLE, OHIO 44887
 (330) 423-3500

AS-BUILT - FLOOR PLANS
 BUILDING "C" (UNITS #6, 7 & 8)
 BURTON LANE
 WHITLATCH & CO. ARCHITECTS & ENGINEERS • 330.423.3500 • 330.423.3500

DRAWN	R. SIMMONS
DATE	AUGUST 21, 1998
SCALE	1/8" = 1'-0"
SHEET	8 OF 11
PROJECT	BURTON LANE
FILE NAME	BHM - C.DWG

SHEET
 8 OF 11

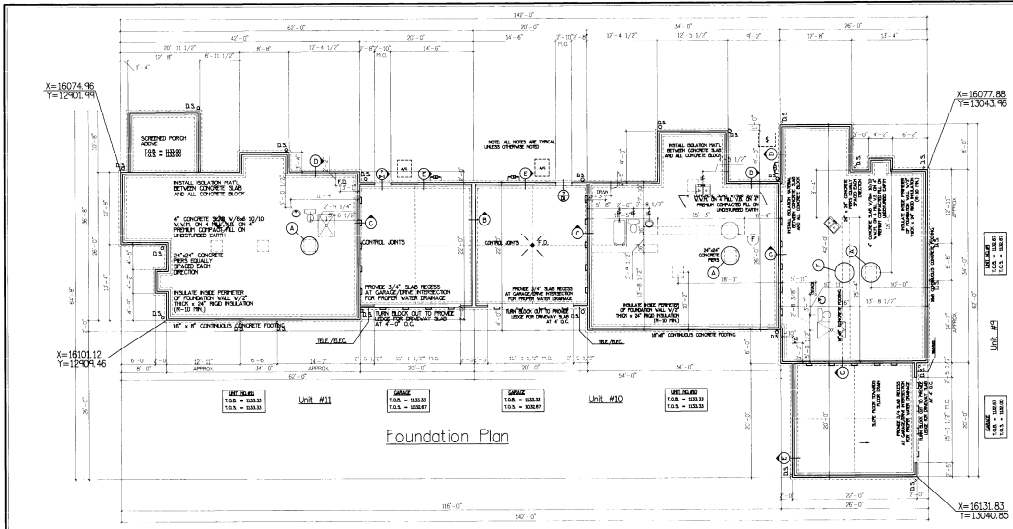
REVISION	DATE

FRED L. KRUEGER
ARCHITECT
P.O. BOX 363
10800 BALENA ROAD
FAIRBURN, OHIO 43007
(330) 435-3500

**AS-BUILT - FOUNDATION PLAN
BUILDING 'D' (UNITS #9, 10 & 11)
BURTON LANE**

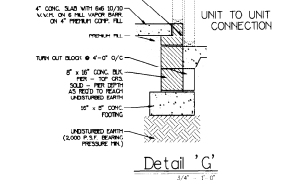
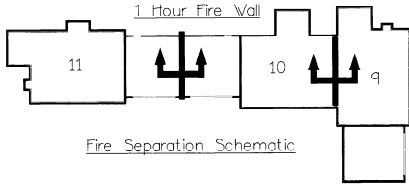
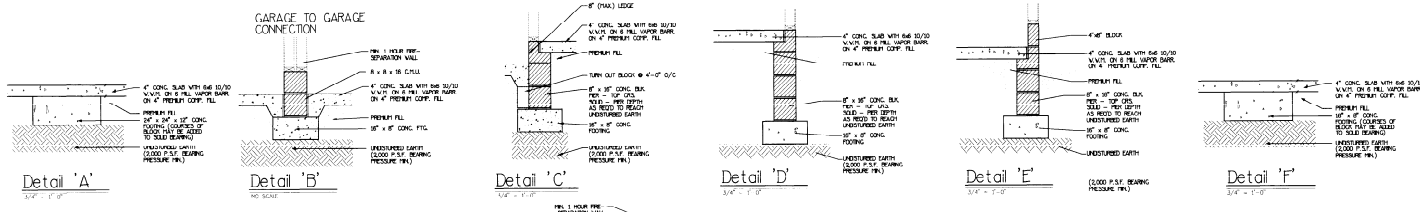
SERIAL
W. SIMMONS
DATE
AMOUNT 24 1000
SCALE
1/8" = 1'-0"
PROJECT
BURTON LANE
FILE NAME
SHEET D.DWG

SHEET
A2



NOTE: FOUNDATION DESIGN BASED ON
MIN. SOIL CAPACITY OF 2,000 P.S.I. —
CONTRACTOR TO VERIFY & NOTIFY
ARCHITECT SHOULD SOIL BEARING
BE LESS.

CONCRETE STRENGTH DESIGN
= 3,000 P.S.I. IN 28 DAYS.



54389137
JAMES H. ROBERTY, BARRY D. HARTMAN
EXHIBIT "B"
SHEET 6/1
I, FRED L. KRUEGER, hereby certify that the drawing correctly sets forth the dimensions of each Unit in Building "D" in Burton Lane Condominium as they have been constructed. The outside of each Unit, when measured as built, will not exactly as certified on the General Plan and will not vary. The entire room when these dimensions makes up each Unit.

STATE OF OHIO
FRED
L.
KRUEGER
5201
REGISTERED ARCHITECT

[Signature] 12/11/99
FRED L. KRUEGER
REGISTERED ARCHITECT # 9291

REVISION	DATE
1	8/12/99
2	8/12/99
3	8/12/99

FRED L. KRUEGER
 ARCHITECT
 P.O. BOX 363
 10000 RAVENNA ROAD
 INDIANAPOLIS, OHIO 46207
 (317) 425-3000

AS-BUILT - ELEVATIONS
BUILDING 'D' (UNITS #9, 10 & 11)
BURTON LANE
WHITLATCH & CO., BUILDERS AND DEVELOPERS • P.O. BOX 333 • INDIANAPOLIS, OHIO 46207 • (317) 425-3000

DATE	AUGUST 24, 1999
SCALE	1/8" = 1'-0"
PROJECT	BURTON LANE
TITLE	BRN - D.DWG

SHEET
A1
 OF SHEETS

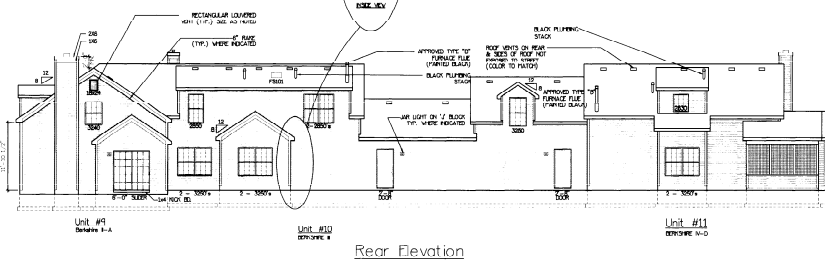
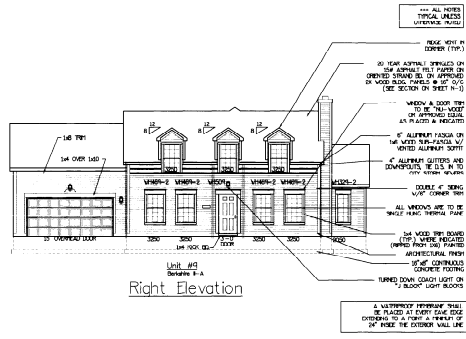
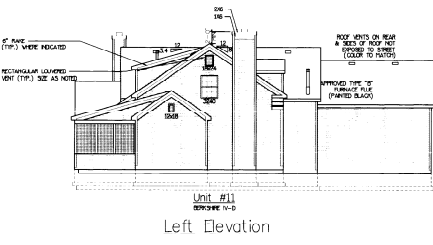
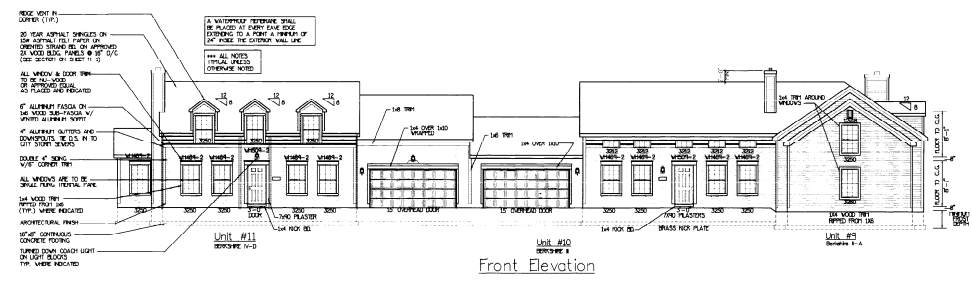
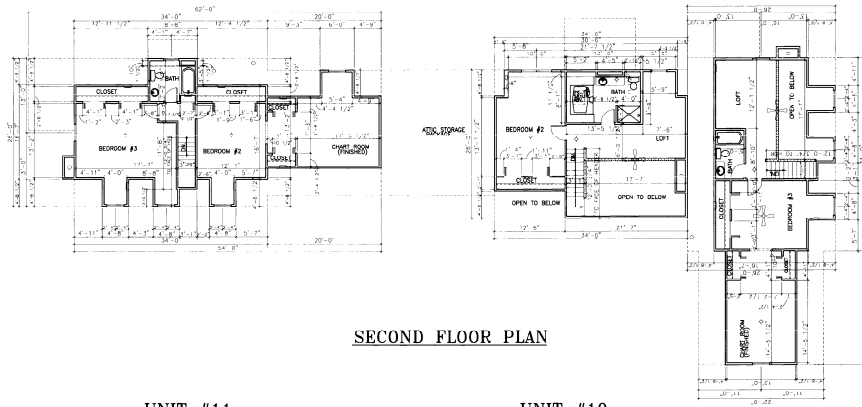


EXHIBIT "B"
 SHEET "B"

I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "D" in Burton Lane Condominium as they have been constructed. The outside of each Unit when measured as built, will be exactly as certified on the General Plan and will not vary. The entire space within these dimensions makes up each Unit.

Fred L. Krueger 12/1/99
 REGISTERED ARCHITECT # 5281

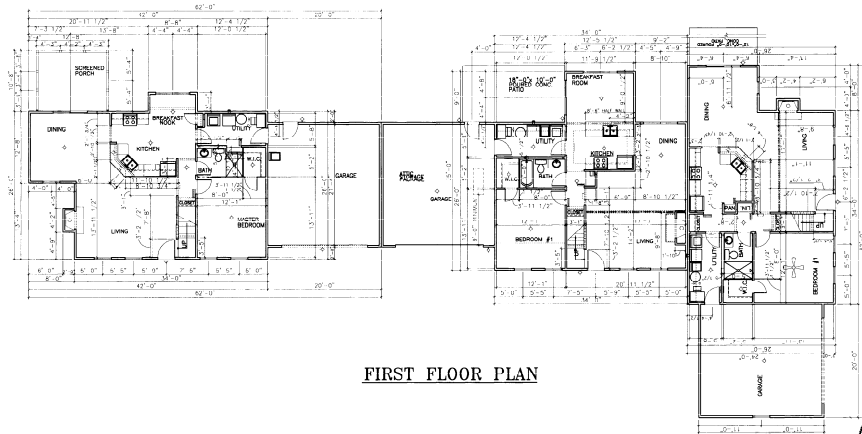


SECOND FLOOR PLAN

UNIT #11

UNIT #10

UNIT #9



FIRST FLOOR PLAN



EXHIBIT "B"
SHEET #2



I, FRED L. KRUEGER, hereby certify that this drawing correctly sets forth the dimensions of each Unit in Building "D" in Burton Lane Condominium as they have been constructed. The outside of each Unit, when measured as built, will be exactly as certified on this General Plan and will not vary. The entire space upon these dimensions makes up each Unit.

FRED L. KRUEGER DATE 12/1/95
REGISTERED ARCHITECT # 5281

REVISION	DATE

FRED L. KRUEGER
ARCHITECT
P.O. BOX 363
10800 WINDERMERE HUNTS
TANGERSBURG, OHIO 44887
(330) 425-7500

AS-BUILT - FLOOR PLANS
BUILDING "D" (UNITS #9, 10 & 11)
BURTON LANE
WHITLATCH & CO., INC. 100-101 • TANGERSBURG, OHIO 44887 • 330-425-7500

ISSUED BY: SIMMONS
DATE: AUGUST 24, 1999
SCALE: 1/8" = 1'-0"
PROJECT: BURTON LANE
TYPING: BRN-D DWG

SHEET
OF SHEETS

24.00

COMPLETED

4

AMENDMENT OF DECLARATION OF CONDOMINIUM OWNERSHIP
FOR
BURTON LANE CONDOMINIUM

This will certify that copies of this Amendment of Declaration, with the exhibits as stated and attached, have been filed in the office of the Auditor, Records Division, of Summit County, Ohio.

1. Statement of Cross Reference.
2. Exhibit "A"- Amendment to Declaration of Condominium Ownership for Burton Lane Condominium.

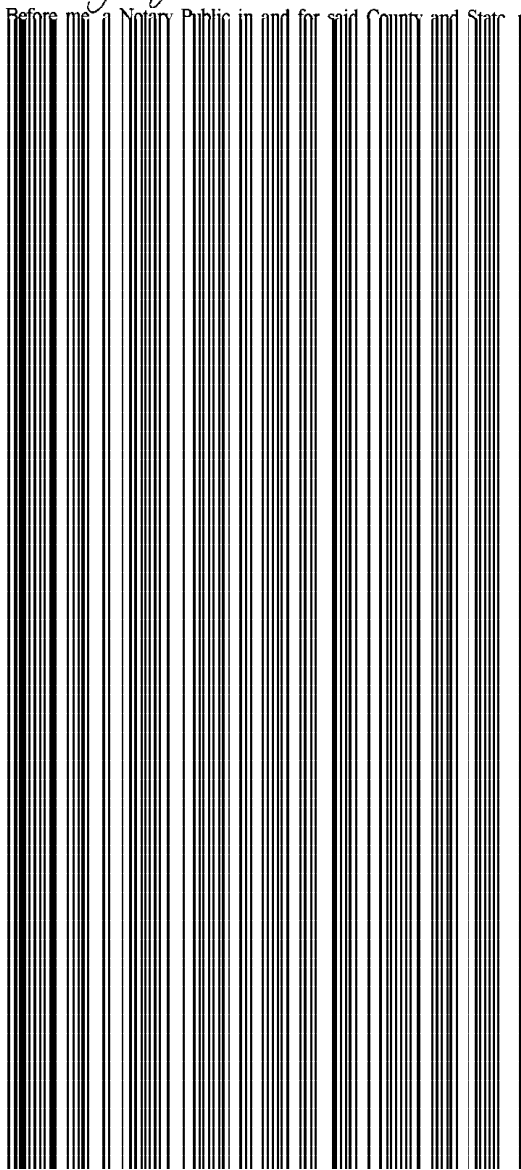
BY: *Addison G. Fluet*
 Addison G. Fluet, Treasurer
 For and on behalf of Unit Owners
 Burton Lane Condominium Association
 (As set forth in schedule of Unit Owners)

Donald R. Snyder
 Witness

Tara Uttamchandani
 Witness

STATE OF OHIO)
 COUNTY OF *Cuyahoga*)SS:

Before me, Notary Public in and for said County and State, personally appears the above named



STATEMENT OF CROSS REFERENCE

This Amendment of the Declaration of Condominium Ownership for Burton Lane Condominium, does hereby amend those documents as previously filed and cross-referenced hereto at:

Declaration of Condominium Ownership for Burton Lane Condominium, dated March 9, 1998, filed for record August 31, 1998, at 1:56 p.m., and recorded in Instrument No. 54185417 of Summit County records, (pages 1-46) with the following Exhibits attached:

- 1. Exhibit "A" - Condominium Association By-laws;
2. Exhibit "B" - General Plan of Condominium Property
3. Exhibit "C" - Schedule of Percentage of Interest

Declaration of Condominium for Burton Lane Plat No. 54160438

BY: Addison G. Fluent, Treasurer
For and on behalf of Unit Owners
Burton Lane Condominium Association
(As set forth in schedule of Unit Owners)

Witness: Anna L. Snyder

Witness: Tara Uttomchandani

STATE OF OHIO)
COUNTY OF Cuyahoga) SS:

Before me, a Notary Public in and for said County and State, personally appears the above named ADDISON G. FLUENT, who acknowledged that he did sign the foregoing instrument and that the same is his free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal at Piquette, Ohio, this 22 day of January, 2002.

Catherine A. Prayner
NOTARY PUBLIC
CATHERINE A. PRAYNER
Notary Public - State of Ohio
My Commission Expires Sept. 14, 2005

APPROVED BY:
SUMMIT COUNTY AUDITOR

BY: _____

DATED: _____

This instrument prepared by:
SHIRLEY J. SMITH, Esq.
3666 Mahoning Avenue
Austintown, Ohio 44515
(330) 270-7041
FAX (330) 793-1653

Barcode with number 54660566 and text: Page: 2 of 4, 02/14/2002 08:06A, CONDO 24.00, FRANK WILLIAMS, SUMMIT CO AUDITOR

Handwritten signature and notary seal area.



EXHIBIT "A"

**AMENDMENT OF DECLARATION OF CONDOMINIUM OWNERSHIP
FOR
BURTON LANE CONDOMINIUM**

This Amendment of Declaration of Condominium Ownership, as stated herein, does hereby supersede and amend those provisions, as if fully rewritten herein, of the Declaration of Condominium Ownership for Burton Lane Condominium, dated March 13, 1998, filed for record August 31, 1998, at 1:56 p.m., and recorded in Instrument No. 54185417 of Summit County records, along with, and including, all applicable sections of the attached Exhibits filed therewith.

The following restrictions, conditions and limitations shall run with the land and shall be binding upon each Unit Owner and each Unit Owner's heirs, successors and assigns and all further owners of Units, by acceptance of their respective deeds, hereby covenant and agree as follows:

AMENDED DECLARATION OF CONDOMINIUM OWNERSHIP:

NO-LEASE PROVISION: The Declaration is amended to affirmatively restrict/prohibit the rental of any or all condominium units within the Burton Lane Association as follows:

Rental of Units. No Unit shall be leased by an Owner to others for business, speculative, investment or any other purpose. The purpose of this restriction is to create a community of resident Owners.


This restriction does not apply to: A). Units that are occupied by the parent(s) or child(ren) of the Owner; or, B) any Owner leasing his/her Unit at the time of recording of this amendment with the County Auditor, and who has registered his/her Unit as being leased with the Association within three (3) months of the recording of this amendment; said Owner shall continue to enjoy the privilege of leasing that Unit until the title to said Unit is transferred to a subsequent Owner.

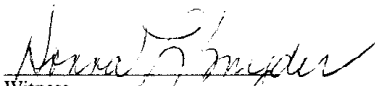
To meet a special situation as to avoid an extreme undue hardship or practical difficulty, the Board shall grant permission to an Owner to lease his/her Unit to a specified lessee for a one-time period not less than six (6) consecutive months nor more than twenty-four (24) consecutive months. The one-time hardship exception of up to twenty-four (24) months may in no event be extended beyond the one twenty-four (24) month period.

In accord herewith, By-Laws, Article VII, Owner Units, Section 2, Unit Use, is likewise amended to affirmatively restrict/prohibit the rental of any or all condominium units within the Burton Lane Association consistent with the above amendment and is hereby likewise amended to reflect the aforementioned restriction as if fully rewritten therein.

Any provision of such Declaration or By-laws, previously recorded, which are inconsistent with the aforementioned amendment provisions, are hereby superseded in favor of the aforementioned amendments which require ownership occupancy/restrictive no-lease provision.

Each Unit Owner shall comply with the provisions of this Amended Declaration and the Amended By-laws, and the decisions and resolutions of the Association, all as may be lawfully amended from time-to-time.

BY: 
Addison G. Fluett, Treasurer
For and on behalf of Unit Owners
Burton Lane Condominium Association


Witness

(As set forth in schedule of Unit Owners)

Tara Uttamchandani
Witness

STATE OF OHIO)
COUNTY OF Cuyahoga)SS:

Before me, a Notary Public in and for said County and State, personally appears the above named ADDISON G. FLUENT, who acknowledged that he did sign the foregoing instrument and that the same is his free act and deed.

22 IN TESTIMONY WHEREOF, I have hereunto set my hand and seal at Pepper Pike Ohio, this day of January, 2002.

Catherine A. Prayner
NOTARY PUBLIC

CATHERINE A. PRAYNER
Notary Public - State of Ohio
My Commission Expires Sept. 14, 2005



54660566
Page: 4 of 4
02/14/2002 08:06A
CONDO 24.06

FRANK WILLIAMS, SUMMIT CO AUDITOR

AMENDMENTS TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP
FOR
BURTON LANE CONDOMINIUM

PLEASE CROSS MARGINAL REFERENCE WITH THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM RECORDED AT INSTRUMENT NO. 54185417 OF THE SUMMIT COUNTY RECORDS.

THIS WILL CERTIFY THAT A COPY OF THESE AMENDMENTS TO THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM WERE FILED IN THE OFFICE OF THE FISCAL OFFICER OF SUMMIT COUNTY, OHIO.

DATED: Nov 15, 2012 BY: KRISTEN M. SCALISE CPA, CFE
Summit County FISCAL OFFICER
By: Katie Mancino
Katie Mancino



55908395
Pg: 1 of 9
11/19/2012 11:22A
CONDO 88.00

AMENDMENTS TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP FOR
BURTON LANE CONDOMINIUM

WHEREAS, the Declaration of Condominium Ownership for Burton Lane Condominium (the "Declaration") and The Burton Lane Condominium Association Bylaws (the "Bylaws"), Exhibit A of the Declaration, were recorded at Summit County Records Instrument No. 54185417, and

WHEREAS, Section 5311.05(E)(1) of the Ohio Revised Code authorizes the Board of Directors, without a vote of the Unit Owners, to amend the Declaration "to bring the Declaration in compliance with this Chapter," and

WHEREAS, the Board of Directors approved the following matters to be modified (the "Amendments") in order to bring the Declaration into compliance with Ohio Revised Code Chapter 5311, and

WHEREAS, the proceedings necessary to amend the Declaration and Bylaws as permitted by Chapter 5311 of the Ohio Revised Code and the Declaration of Condominium Ownership for Burton Lane Condominium have in all respects been complied with.

NOW THEREFORE, the Declaration of Condominium Ownership for Burton Lane Condominium is hereby amended by the Board of Directors as follows:

- (1) All references in the Declaration and Bylaws to the term "Common Areas" or "Common Areas and Facilities" shall be replaced with the term "Common Elements."
- (2) All references in the Declaration and Bylaws to the term "Limited Common Areas" or "Limited Common Areas and Facilities" shall be replaced with the term "Limited Common Elements."
- (3) All references in the Declaration and Bylaws to the term "Board of Managers" shall be replaced with the term "Board of Directors."
- (4) DELETE DECLARATION ITEM 25, entitled "Receipt of Service of Process," in its entirety. Said deletion is to be made on Page 18 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417.



INSERT a new DECLARATION ITEM 25, entitled "Receipt of Service of Process." Said addition, to be made on Page 18 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

25. Receipt of Service of Process. The person to receive service of process for the Association shall be as designated by the Board. This designation will be accomplished by filing with the Ohio Secretary of State the required statutory agent designation form.

(5) INSERT a new DECLARATION ITEM 28, entitled "Enforcement Assessments." Said new addition, to be added on Page 19 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

28. Enforcement Assessments. In accordance with Ohio Revised Code Section 5311.081(B)(12), the Board shall have the authority to impose interest and administrative late fees for the late payment of Assessments; impose returned check charges; and, in accordance with the procedure outlined in Ohio Revised Code Section 5311.081(C)(1), impose reasonable enforcement Assessments for violations of the Declaration, the Bylaws, and the rules of the Association, and reasonable charges for damage to the Common Elements.

(6) INSERT a new 2nd PARAGRAPH to DECLARATION ITEM 15, entitled "Assessment Liens; Costs of Enforcement." Said new addition, to be added on Page 13 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.18(A)(1)(b), the Association has a lien upon each Unit's ownership interest for any unpaid interest, administrative late fees, enforcement Assessments, and collection costs, attorney's fees, and paralegal fees.

(7) INSERT a new DECLARATION ITEM 6, SECTION (K), entitled "Eviction of Tenants." Said new addition, to be added on Page 7 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:



In accordance with Ohio law, the Association may initiate eviction proceedings to evict any tenant, for any violation of the Declaration, Bylaws, rules and regulations, or applicable laws, by the tenant, any occupant of the Unit, or the owner of the Unit. The action shall be brought by the Association, as the Unit Owner(s)'s agent, in the name of the Unit Owner(s). In addition to any procedures required by State law, the Association shall give the Unit Owner(s) at least 10 days written notice of the intended eviction action. The costs of any eviction action, including reasonable attorneys' fees, shall be charged to the Unit Owner(s) and shall be the subject of a special Assessment against the offending Unit Owner and made a lien against that Unit.

(8) INSERT a new 2nd PARAGRAPH to the end of BYLAWS ARTICLE VIII, SECTION 1, entitled "Obligation of Owners to Pay Assessments." Said new addition, to be added on Page 14 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.18(A)(2), the Association shall credit payments made by a Unit Owner in the following order of priority:

- (1) First, to interest owed to the Association;
- (2) Second, to administrative late fees owed to the Association;
- (3) Third, to collection costs, attorney's fees, and paralegal fees incurred by the Association; and
- (4) Fourth, to the principal amounts the Unit Owner owes to the Association for the common expenses or enforcement Assessments chargeable against the Unit.

(9) INSERT a new 3rd PARAGRAPH to BYLAWS ARTICLE VIII, SECTION 10, entitled "Remedies for Failure to Pay Assessments." Said new addition, to be added on Page 16 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.081(B)(18), when a Unit Owner is delinquent in the payment of Assessments for more than 30 days, the Board may, by a majority vote, suspend the



voting privileges of the owner and/or right of the occupants to use the recreational facilities.

(10) INSERT a new 2nd PARAGRAPH to the end of BYLAWS ARTICLE V, SECTION 3, entitled "Special Services." Said new addition, to be added on Page 11 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.081(B)(15), the Board may impose reasonable charges to the Unit Owner for providing copies of the Declaration, Bylaws or amendments thereto as well as reasonable charges for the handling of re-financing and/or resale documentation, and/or statements of unpaid Assessments.

(11) INSERT a new DECLARATION ITEM 6, SECTION (L), entitled "Owner/Resident Information." Said new addition, to be added on Page 7 of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

(L) Owner/Resident Information. In accordance with Ohio Revised Code Section 5311.09(A)(2) and (3), each Unit Owner shall, within 30 days of the recording of this Amendment or within 30 days of title transferring to the Unit Owner, provide to the Association the Unit Owner's and/or all occupants' names, home and business mailing addresses, home and business telephone numbers, and the name, business address and business telephone number of any person who manages the Unit as an agent of that Owner. Any change in the information shall be provided to the Board, in writing, within 30 days of said change.

(12) MODIFY BYLAWS ARTICLE II, SECTION 1, entitled "Number and Qualifications." Said modification, to be made on Page 5 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows: (new language is underlined)

Section 1. Number and Qualifications.

The Board shall consist of three (3) persons, all of whom must be Owners, or the spouse of an Owner, and Occupants of a Unit. That notwithstanding, no one Unit may be represented by more than one



person on the Board at any one time. If an Owner is not an individual, that Owner may nominate for the Board of Directors any principal, member of a limited liability company, partner, director, officer, or employee of that Owner.

(13) INSERT a new 3rd SENTENCE to the end of BYLAWS ARTICLE II, SECTION 10, entitled "Quorum." Said new addition, to be added on Page 6 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.08(A)(4)(a), any Board meeting may be held in person or by any method of communication, including electronic or telephonic communication, provided that each Board member can hear, participate and respond to every other Board member.

(14) INSERT a new SENTENCE to the end of the 3rd PARAGRAPH of BYLAWS ARTICLE VIII, SECTION 2, entitled "Preparation of Estimated Budget." Said new addition, to be added on Page 15 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.21, in the alternative, if the Association has collected a Common Surplus at the end of any fiscal year, the Board may determine that such amount will be applied toward reserves.

(15) INSERT a new 2nd PARAGRAPH to BYLAWS ARTICLE II, SECTION 5, entitled "Powers and Duties." Said new addition to be added on Page 5 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

In accordance with Ohio Revised Code Section 5311.081(B), in addition to all other powers enumerated herein, the Board may exercise all powers of the Association, including the power to do the following:

(A) Hire and fire managing agents, attorneys, accountants, and other independent contractors and employees

that the Board determines are necessary or desirable in the management and/or operation of the Condominium Property and the Association;

(B) Commence, defend, intervene in, settle, or compromise any civil, criminal, or administrative action or proceeding that is in the name of, or threatened against, the Association, the Board, or the Condominium Property, or that involves two or more Unit Owners and relates to matters affecting the Condominium Property;

(C) Enter into contracts and incur liabilities relating to the operation of the Condominium Property;

(D) Grant easements, leases, licenses, and concessions through or over the Common Elements;

(E) Impose and collect fees or other charges for the use, rental, or operation of the Common Elements or for services provided to Unit Owners;

(F) Purchase insurance and fidelity bonds the Board considers appropriate or necessary; and

(G) Invest excess funds in investments that meet standards for fiduciary investments under Ohio law.

(16) INSERT a new PARAGRAPH (5) to BYLAWS ARTICLE VII, SECTION 4(C), entitled "Porches and Room Additions." Said new addition, to be added on Page 13 of the Bylaws, Exhibit A of the Declaration, as recorded at Summit County Records, Instrument No. 54185417, is as follows:

(5) In accordance with Ohio Revised Code Section 5311.04(G), the Board may authorize the use of Limited Common Elements, as distinguished from the Common Elements and Exclusive Use Areas, for the construction of open, unenclosed patios, hedges, decks, fences, or similar improvements provided that the improvements are maintained and insured by the Owner of the Unit to which the Limited Common Element is appurtenant. The

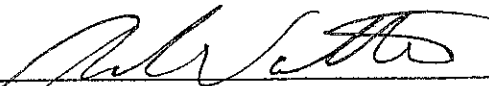


construction of an addition to or an expansion of a Unit into Limited Common Elements or Common Elements may not be authorized without the consent of all Unit Owners.

(17) Any conflict between the above provisions and any other provisions of the Declaration and Bylaws shall be interpreted in favor of the above amendments. The invalidity of any part of the above provision shall not impair or affect in any manner the validity or enforceability of the remainder of the provision. Upon the recording of these amendments, only Unit Owners of record at the time of such filing shall have standing to contest the validity of these amendments, whether on procedural, substantive or any other grounds, provided further that any such challenge shall be brought in the court of common pleas within one year of the recording of the amendments.

IN WITNESS WHEREOF, the said Burton Lane Condominium Association has caused the execution of this instrument this 7th day of November, 2012.

BURTON LANE CONDOMINIUM ASSOCIATION

By: 
ADAM WATTS, its President

 55908395
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Kristen Scalise, Summit Co Fiscal Office

STATE OF OHIO)
)
COUNTY OF Summit, OH) SS

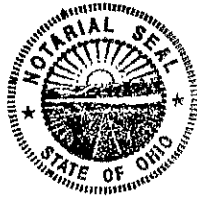
BEFORE ME, a Notary Public, in and for said County, personally appeared the above named Burton Lane Condominium Association, by Adam Watts, its President, who acknowledged that he did sign the foregoing instrument, on Page 8 of 9, and that the same is the free act and deed of said corporation and the free act and deed of him personally and as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal in Stow, Ohio, this 7th day of November, 2012.

Ronald Lindeen
NOTARY PUBLIC

Place notary stamp/seal here:

Ronald Lindeen
Resident Summit County
Notary Public, State of Ohio
My Commission Expires: 03/24/2015



env This instrument prepared by:
KAMAN & CUSIMANO, LLC., Attorneys at Law
2000 Terminal Tower
50 Public Square
Cleveland, Ohio 44113
(216) 696-0650

AMENDMENTS TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP
FOR
BURTON LANE CONDOMINIUM

PLEASE CROSS MARGINAL REFERENCE WITH THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM RECORDED AT INSTRUMENT NO. 54185417 OF THE SUMMIT COUNTY RECORDS.

THIS WILL CERTIFY THAT A COPY OF THESE AMENDMENTS TO THE DECLARATION OF CONDOMINIUM OWNERSHIP FOR BURTON LANE CONDOMINIUM WERE FILED IN THE OFFICE OF THE FISCAL OFFICER OF SUMMIT COUNTY, OHIO.

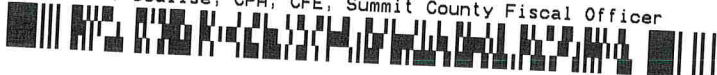
DATED: 8-30-24

BY: KRISTEN M. SCALISE CPA, CFE
FISCAL OFFICER

BY: *Katlynn Daniels*
Katlynn Daniels

RECEIVED
SEP 24 2024

BY: _____



**AMENDMENTS TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP FOR
BURTON LANE CONDOMINIUM**

RECITALS

- A.** The Declaration of Condominium Ownership for Burton Lane Condominium (the "Declaration") and the Bylaws of Burton Lane Condominium Association, Exhibit A of the Declaration (the "Bylaws"), were recorded at Summit County Records Instrument No. 54185417.
- B.** Ohio Revised Code Section 5311.05(E)(1)(c) authorizes the Board of Directors (the "Board"), without a vote of the Unit Owners, to amend the Declaration "to bring the Declaration into compliance with this Chapter."
- C.** The Board approved the following matters to be modified (the "Amendments") to bring the Declaration into compliance with Ohio Revised Code Chapter 5311 ("Chapter 5311").
- D.** Each of the changes set forth in these Amendments are based on or in accordance with Chapter 5311.
- E.** The proceedings necessary to amend the Declaration and Bylaws as permitted by Chapter 5311 and the Declaration have in all respects been complied with.

AMENDMENTS

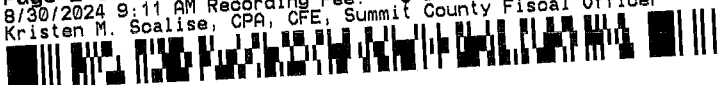
The Declaration of Condominium Ownership for Burton Lane Condominium is amended by the Board of Directors as follows:

- (1) INSERT a NEW PARAGRAPH to the end of DECLARATION ITEM 28.** Said new addition to the Declaration, as amended at Instrument No. 55908395, is:

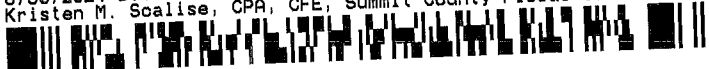
The Board will impose the following enforcement procedure for levying enforcement assessments:

(A) Prior to imposing a charge for damages or an enforcement assessment, the Board will give the Unit Owner a written notice, which may be in the form of electronic mail to an electronic mail address previously provided by the Unit Owner in writing, that includes:

- (1) A description of the property damage or violation;**
- (2) The amount of the proposed charge or assessment;**



- (3) A statement that the Unit Owner has a right to a hearing before the Board to contest the proposed charge or assessment;
 - (4) A statement setting forth the procedures to request a hearing;
 - (5) A reasonable date by which the Unit Owner must cure the violation to avoid the proposed charge or assessment.
- (B) Hearing Requirements:
- (1) To request a hearing, the Unit Owner must deliver a written notice to the Board not later than the tenth day after receiving the notice required above. If the Unit Owner fails to make a timely request for a hearing, the right to that hearing is waived, and the Board may immediately impose a charge for damages or an enforcement assessment.
 - (2) If a Unit Owner timely requests a hearing, at least seven days prior to the hearing the Board will provide the Unit Owner with a written notice that includes the date, time, and location of the hearing.
 - (3) The Board will not levy a charge or assessment before holding a properly requested hearing.
- (C) The Board may allow a reasonable time to cure a violation described above before imposing a charge or assessment.
- (D) Within 30 days following a hearing at which the Board imposes a charge or assessment, the Association will deliver a written notice of the charge or assessment to the Unit Owner.
- (E) The Association will deliver any written notice required above to the Unit Owner or any occupant of the Unit by personal delivery, by electronic mail, by certified mail, return receipt requested, or by regular mail.
- (2) **MODIFY** the 1st SENTENCE of the 1st PARAGRAPH of DECLARATION ITEM 15. Said modification to the Declaration, as amended at Instrument No. 55908395, is: (new language is underlined)



All sums assessed by the Association for common charges applicable to any Condominium Unit that remain unpaid for more than ten (10) days after such sums have become due and payable shall constitute a continuing lien on such Condominium Unit, and such lien shall be prior to all other liens subsequently arising or created, except:

- (3) INSERT a NEW PARAGRAPH to the end of BYLAWS ARTICLE VIII, SECTION 6. Said new addition to the Bylaws is:

The Association, as determined by the Board, is not required to permit the examination and copying of any of the following from books, records, or minutes that contain any of the following:

(A) Information that pertains to Condominium Property-related personnel matters;

(B) Communications with legal counsel or attorney work product pertaining to pending litigation or other Condominium Property-related matters;

(C) Information that pertains to contracts or transactions currently under negotiation, or information that is contained in a contract or other agreement containing confidentiality requirements and that is subject to those requirements;

(D) Information that relates to the enforcement of the Declaration, Bylaws, or Association rules against a Unit Owner;

(E) Information the disclosure of which is prohibited by state or federal law; or

(F) Records that date back more than five years prior to the date of the request.

- (4) MODIFY BYLAWS ARTICLE II, SECTION 1. Said modification to the Bylaws, as amended at Instrument No. 55908395, is: (deleted language is crossed out; new language is underlined)

Section 1. Number and Qualifications.

The Board shall consist of three (3) persons, all of whom must be Owners, or the spouse of an Owner, and Occupants of a Unit. ~~That notwithstanding, no one Unit may be represented by more than one person on the Board at any one time.~~ If an Owner is not an individual that Owner may nominate for the Board of Directors any principal member of a limited liability



company, partner, director, officer, or employee of that Owner. The majority of the Board will not consist of Unit Owners or representatives from the same Unit unless authorized by a resolution adopted by the Board of Directors prior to the Board majority being comprised of Unit Owners or representatives from the same Unit.

(5) INSERT a NEW PARAGRAPH to the end of DECLARATION ITEM 23. Said new addition to the Declaration is:

Without a Unit Owner vote, the Board may amend the Declaration in any manner necessary for any of the following purposes:

(A) To meet the requirements of institutional mortgagees, guarantors and insurers of first mortgage loans, the federal national mortgage association, the federal home loan mortgage corporation, the federal housing administration, the veterans administration, and similar institutions;

(B) To meet the requirements of insurance underwriters;

(C) To bring the Declaration into compliance with the Ohio Condominium Act (Revised Code Chapter 531.1);

(D) To correct clerical or typographical errors or obvious factual errors in the Declaration or an exhibit to the Declaration;

(E) To designate a successor to the person named to receive service of process for the Association. If the Association is incorporated in Ohio, this may be accomplished by filing with the Secretary of State an appropriate change of statutory agent designation;

(F) To delete as void, any provision within the Declaration or Bylaws, or in any applicable restriction or covenant, that prohibits, limits the conveyance, encumbrance, rental, occupancy, or use of property subject to Revised Code Chapter 5311 on the basis of race, color, national origin, sex, religion, or familial status; or

(G) To permit notices to Unit Owners, as required by the Declaration or Bylaws, to be sent by electronic mail and, if returned undeliverable, by regular mail, provided the Association has received the prior, written authorization from the Unit Owner.



(4) The policy shall name the Association as the insured party and shall include a provision requiring the issuer of the policy to provide a ten-day written notice to the Association's president or manager in the event of cancellation or substantial modification of the policy. The manager or managing agent, if any, of the Association shall be the designated agent on the policy.

(5) If there is a change in the manager or the managing agent of the Association, then within ten days of the effective start date, the new manager or managing agent shall notify the insurer of such change.

Any conflict between the above provisions and any other provisions of the Declaration and Bylaws will be interpreted in favor of the above amendments. The invalidity of any part of the above provision will not impair or affect in any manner the validity or enforceability of the remainder of the provision. Upon the recording of these amendments, only Unit Owners of record at the time of the filing have standing to contest the validity of this amendment, whether on procedural, substantive, or any other grounds. Any challenge to the validity of this amendment must be brought in the court of common pleas within one year of the recording of this amendment.

The Burton Lane Condominium Association has caused the execution of this instrument this 20 day of AUGUST, 2024.

BURTON LANE CONDOMINIUM ASSOCIATION

By: 
DENNIS ZIMMERMAN, President

By: 
FRANK ALEXANDER, Treasurer



STATE OF Ohio)
COUNTY OF Summit)

SS

BEFORE ME, a Notary Public, in and for the County, personally appeared the above-named Burton Lane Condominium Association, by its President and its Treasurer, who acknowledged that they did sign the foregoing instrument, on page 8 of 9, and that the same is the free act and deed of the corporation and the free act and deed of them personally and as such officers.

I have set my hand and official seal this 20th day of August, 2024.

Anthony Malfara

NOTARY PUBLIC

Place notary stamp/seal here:



This instrument prepared by:
KAMAN & CUSIMANO, LLC
Attorneys at Law
50 Public Square, Suite 2000
Cleveland, Ohio 44113
(216) 696-0650
ohiocondolaw.com

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Kristen M. Scalise, CPA, CFE, Summit County Fiscal Officer

